DEDICATED ALLEY NEW 200 AMP PANEL & METER — COVERED PATIO NON-VENTED ONE HOUR — RATED EAVES TYPICAL ADJOINING SINGLE FAMILY ADJOINING SINGLE FAMILY NEW GAS METER — OVERHANG — 5' BSL ---10' BSL--CONCRETE DRIVEWAY **50**' EXISTING SIDEWALK EXISTING CURB CUT —— EXTEND — WEST WASHINGTON AVENUE NORTH 1 SITE PLAN SCALE: 1" = 10'-0"

A NEW SINGLE FAMILY RESIDENCE

### **PROJECT INFO**

HOMEOWNER

APN

ADDRESS

I30 WEST WASHINGTON AVENUE
GILBERT, ARIZONA 85233

ZONING

LOT SIZE

MCR

S/T/R

SUBDIVISION

302-18-075

I30 WEST WASHINGTON AVENUE
GILBERT, ARIZONA 85233

FOR SILBERT SF-6

6,500 SF / 0.1492 AC

815

S/T/R

I2 IS 5E

SUBDIVISION

LACY TRACT LOT II

2820 EAST PAGE COURT GILBERT, ARIZONA 85234 480-201-6226 ERROLANDSARAH@GMAIL.COM

APPLICANT / DESIGNER TRUESPACE, ATTN JASON COMER 3104 EAST CAMELBACK RD #126

PHOENIX, ARIZONA 85016 602-373-7934 *JASONCOMER@GMAIL.COM* 

SARAH & ERROL BERRY

GENERAL CONTRACTOR OWNER / BUILDER

AREA CALCULATIONS

TOTAL LIVABLE AREA I,926 SF
ATTACHED GARAGE 553 SF
COVERED PATIO 312 SF
PORCH 108 SF

LOT COVERAGE TOTAL UNDER ROOF 2,925 SF

2,911 / 6,500 = 44.8% LOT COVERAGE

### **APPLICABLE CODES**

TOWN OF GILBERT ZONING ORDINANCE
2012 IBC
2012 IRC
2012 IMC
2012 IPC
2012 IFGC
2012 IFC
2016 IECC (PRESCRIPTIVE)
2011 NEC

### **SHEET INDEX**

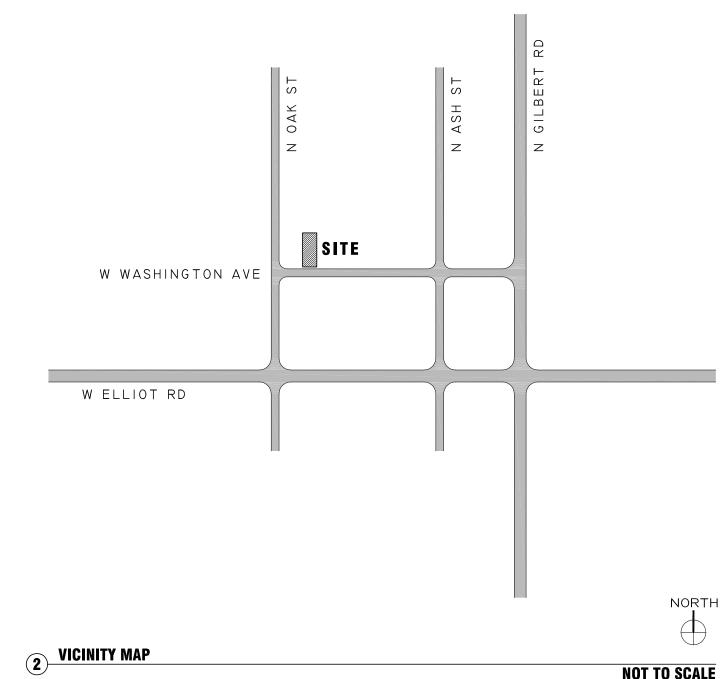
CI.0 COVER, PLOT PLAN AND INDEX
AI.0 FLOOR PLAN
AI.1 ROOF PLAN
A2.0 ELEVATIONS
A2.1 ELEVATIONS
A3.0 BUILDING SECTIONS
A3.1 BUILDING SECTIONS
A3.2 BUILDING SECTIONS
A3.3 BUILDING SECTIONS
A3.4 BUILDING SECTIONS
A3.5 BUILDING SECTIONS
A3.6 BUILDING SECTIONS
A3.6 BUILDING SECTIONS
A4.0 DETAILS
A4.1 DETAILS

SI.0 FOUNDATION PLAN SI.1 BRACED WALL PLAN SI.2 ROOF FRAMING PLAN S5.0 NAILING SCHEDULE

EI.O ELECTRICAL POWER PLAN
EI.I ELECTRICAL LIGHTING PLAN

E5.0 ELECTRICAL SCHEDULES AND ONE LINE DIAGRAM

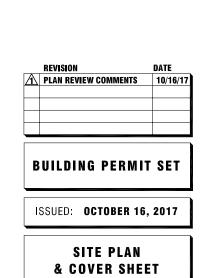
PI.O PLUMBING PLAN



### CONSTRUCTION SET

DESIGN & DOCUMENTATION:
TRUESPACE
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PHOENIX, ARIZONA 85016

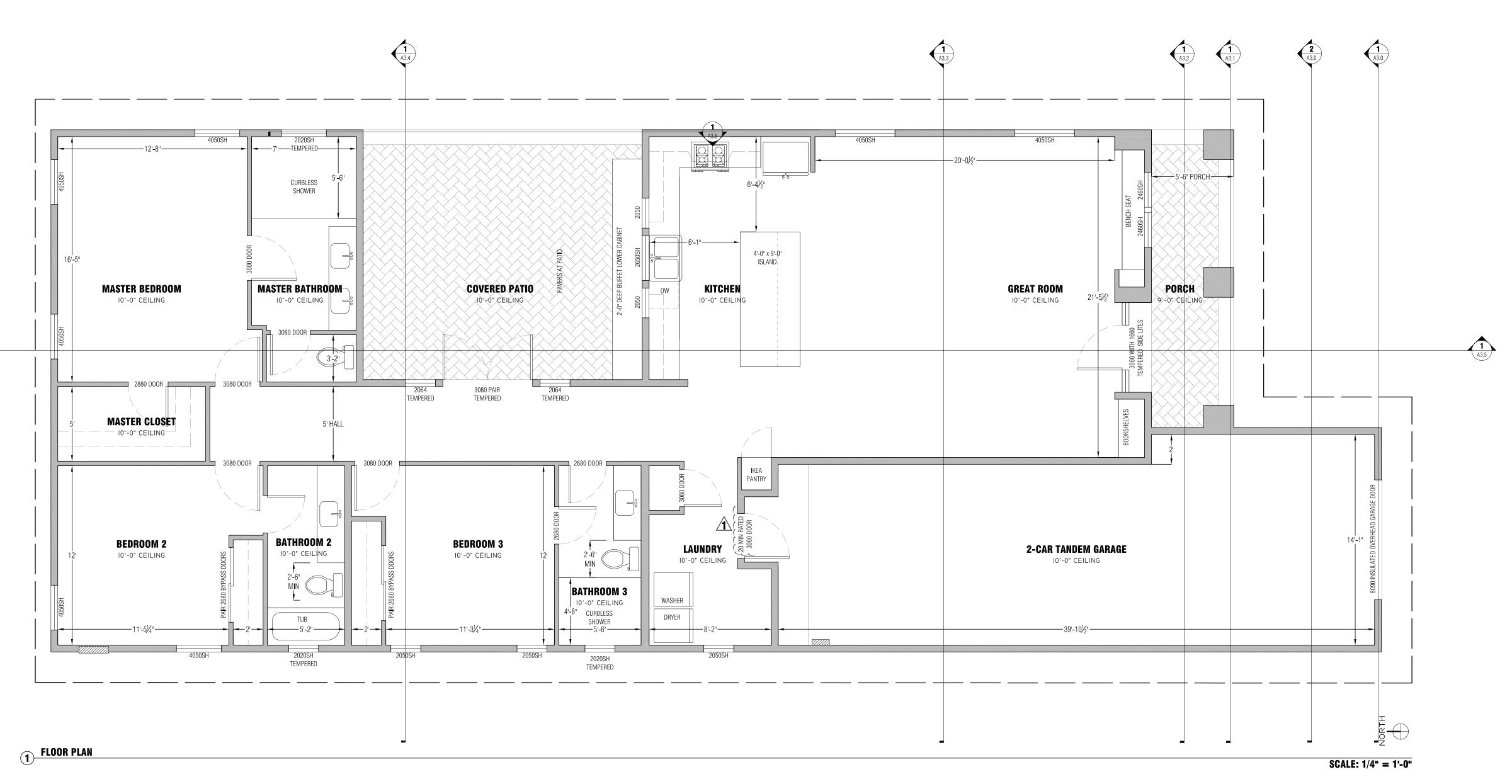
OWNERS: SARAH & ERROL BERRY 4208 EAST SAN MIGUEL AVENUE GILBERT, ARIZONA 85016



NOT TO SCALE

SITE PLAN & COVER SHEET

C1.0



DESIGN & DOCUMENTATION:
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### PLAN NOTES

DIMENSIONS TO FACE OF STUD UNLESS NOTED OTHERWISE

TYPICAL DOOR AND WINDOW HEADS AT 8'-0" AFF UNLESS NOTED OTHERWISE

ALL NEW EGRESS WINDOWS SHALL MEET MEANS OF EGRESS REQUIREMENT OF AT LEAST 5.7 SF OF CLEAR OPENING, MINIMUM 24" IN ANY DIMENSION, AND MAXIMUM 44" SILL HEIGHT.

ALL NEW EXTERIOR WINDOWS SHALL PROVIDE 0.40 MAX. U-FACTOR, 0.25 MAX. SHGC. FOR PRESCRIPTIVE COMPLIANCE WITH THE 2006 IECC.

EXTERIOR WALLS 2x6 STUDS @ 16" OC TYPICAL, PROVIDE MIN R-19 BATT INSULATION AT ALL EXTERIOR WALLS AND BETWEEN GARAGE AND HOUSE

PROVIDE MINIMUM R-38 LOOSE FILL INSULATION AT ATTIC ABOVE GARAGE AND ATTIC, VENTING IS ACCOPMPLISHED THROUGH RIDGE AND GABLE VENTS (HIGH) AND THROUGH VENTED SOFFIT AT PATIO COVER (LOW) - SEE ROOF FRAMING PLAN SI.2 FOR

PROVIDE SUBMITTALS FOR OWNER REVIEW OF ALL DOOR AND WINDOW SELECTIONS, ALL HARDWARE TO HAVE CONSISTENT FINISHES IN EACH ROOM

(AT ENTRY TO HOUSE THRU GARAGE, PROVIDE SELF-CLOSING, SELF LATCHING SOLID CORE DOOR NOT LESS THAN I 3/8" THICK, OR DOOR SHALL BE A 20-MINUTE FIRE RATED DOOR

BUILDING PERMIT SET

ISSUED: OCTOBER 16, 2017

FLOOR PLAN

### 

1 ROOF PLAN

CONSTRUCTION SET

DESIGN & DOCUMENTATION:
TRUESPACE
ATTENTION: JASON COMER
602-373-7934
JASONCOMER@GMAIL.COM
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PHOENIX, ARIZONA 85016

OWNERS: Sarah & Errol Berry 4208 East San Miguel Avenue Gilbert, Arizona 85016

SCALE: 1/4" = 1'-0"

BUILDING PERMIT SET

ISSUED: OCTOBER 16, 2017

ROOF PLAN

# BERRY RESIDEN

DESIGN & DOCUMENTATION:
TRUESPACE
ATTENTION: JASON COMER
602-373-7934
JASONCOMER@GMAIL.COM
3104 EAST CAMELBACK ROAD #126
PHOENIX, ARIZONA 85016

SCALE: 1/4" = 1'-0"

OWNERS: Sarah & Errol Berry 4208 East San Miguel Avenue Gilbert, Arizona 85016

STLCCC. FROMES EITHER MESTER GEL-SITE ISSIALED PHAINMAN 320, DI SNO-MOIT PE ESH-2728

THE PHAINMAN 320, DI SNO-

JAMES HARDIE HARDIEBOARD PRODUCTS
LISTED UNDER ESR-2290



1 SOUTH ELEVATION (FRONT YARD)

SCALE: 1/4" = 1'-0"

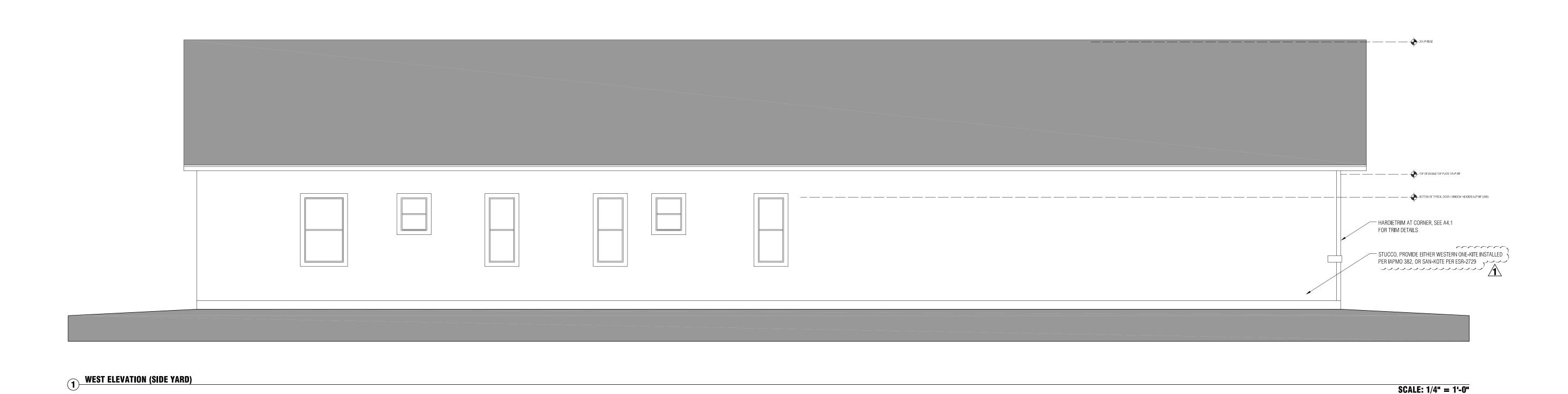
2 NORTH ELEVATION (REAR YARD)

BUILDING PERMIT SET

ISSUED: OCTOBER 16, 2017

ELEVATIONS





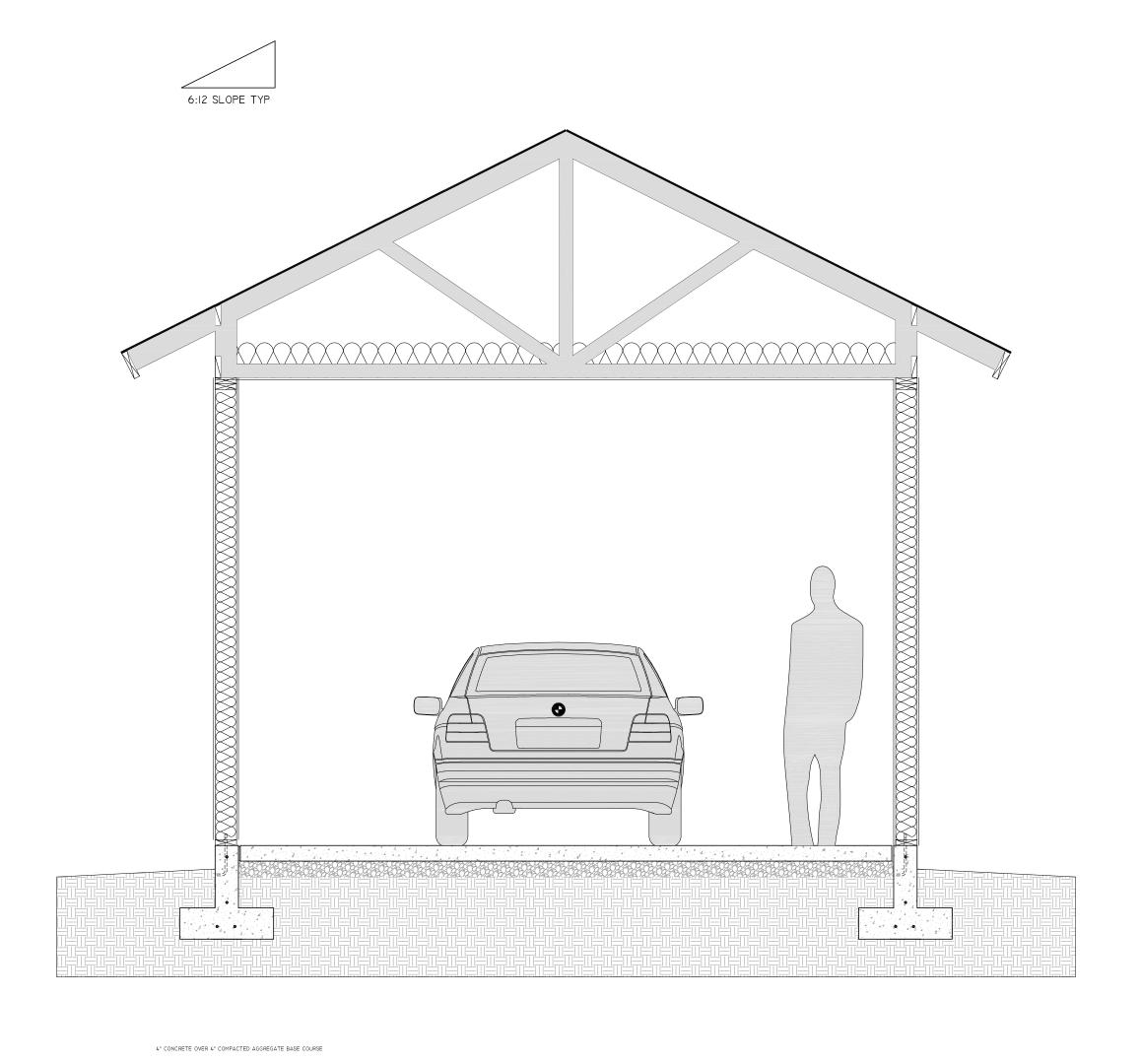
## CONSTRUCT

DESIGN & DOCUMENTATION: TRUESPACE ATTENTION: JASON COMER 602-373-7934 Jasoncomer@gmail.com 3104 East Camelback Road #126 Phoenix, Arizona 85016

OWNERS: Sarah & Errol Berry 4208 East San Miguel Avenue Gilbert, Arizona 85016

BUILDING PERMIT SET ISSUED: OCTOBER 16, 2017

SCALE: 1/4" = 1'-0"



SCALE: 1/2" = 1'-0"

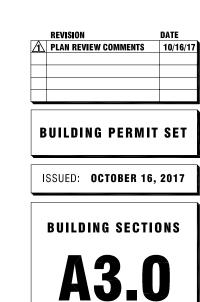
1) SECTION AT GARAGE GABLE END SCALE: 1/2" = 1'-0"

- DROP TOP CHORD AT GABLE END TRUSS 5.5" TO ALLOW FOR 2x6 LOOKOUTS SIMPSON (2) H2.5A's AT GABLE END TRUSSES 8'-0" AFF GARAGE DOOR OPENING PROVIDE 2x6 PRESSURE BLOCKS——BETWEEN STUDS BELOW HEADER — SIMPSON ST22 STRAPS ON <u>INSIDE FACE</u> (OPPOSITE SHEATHING) AT (2) TRIMMERS AT OPENING AND AT END OF HEADER WITH MAX 8D NAILING 8D NAILING @ 3" OC IN HATCHED AREA THRU ALL FRAMING MEMBERS (PLATES, STUDS, BLOCKING AND HEADERS) MIN (4) SIMPSON LSTHD8 HOLDDOWNS INTO MIN (2) 2x STUDS PER FOUNDATION PLAN

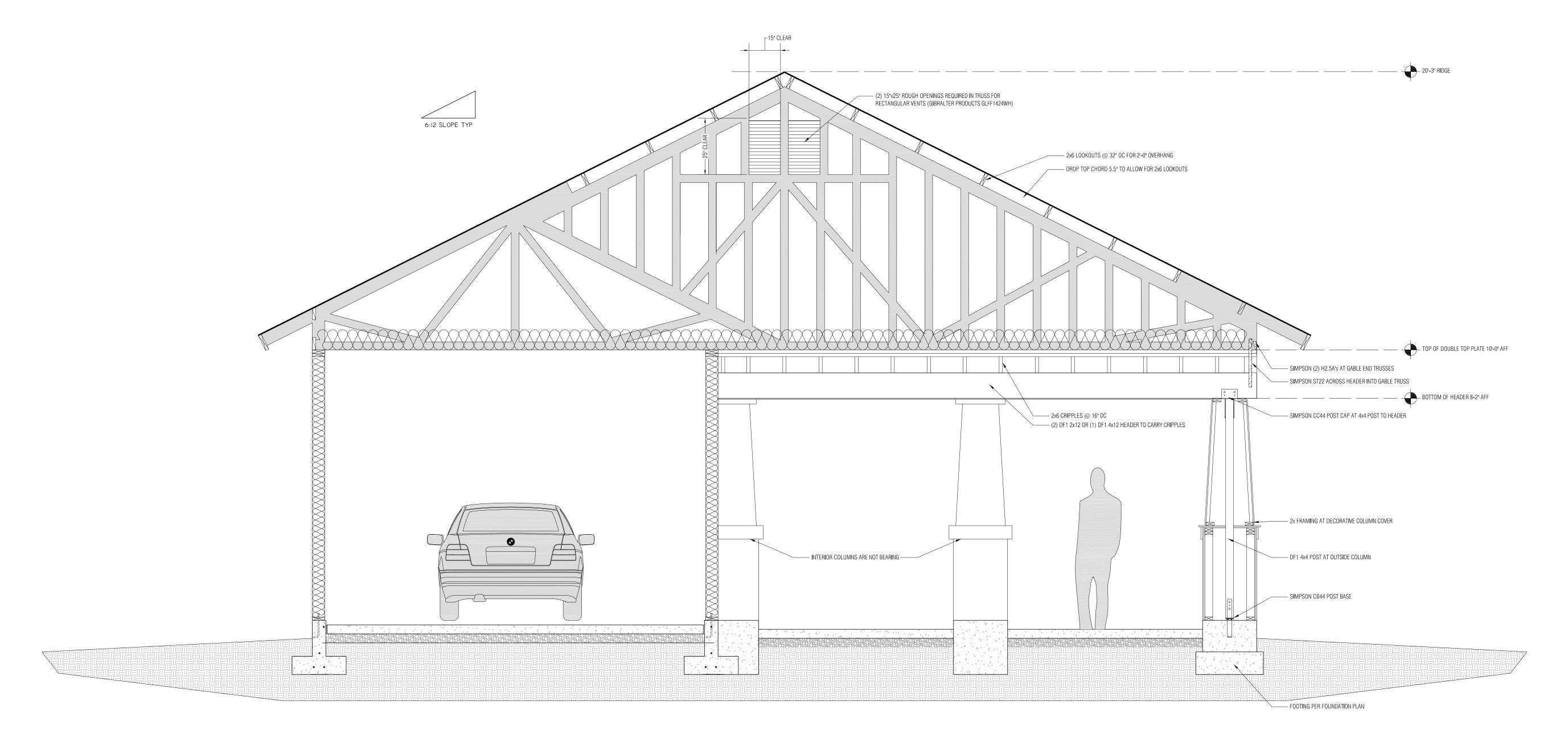
MIN (2) ANCHOR BOLTS AT PORTALS

NSTRUCT DESIGN & DOCUMENTATION: TRUESPACE ATTENTION: JASON COMER 602-373-7934 JASONCOMER@GMAIL.COM 3104 East Camelback road #126 PHOENIX, ARIZONA 85016

OWNERS: Sarah & Errol Berry 4208 East San Miguel Avenue Gilbert, Arizona 85016



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1 SECTION AT TRANSITION GABLE END TRUSS SCALE: 1/2" = 1'-0"

> BUILDING PERMIT SET ISSUED: OCTOBER 16, 2017 **BUILDING SECTION**

DESIGN & DOCUMENTATION: TRUESPACE ATTENTION: JASON COMER 602-373-7934 Jasoncomer@gmail.com 3104 East Camelback Road #126 Phoenix, Arizona 85016

OWNERS: Sarah & Errol Berry 4208 East San Miguel Avenue Gilbert, Arizona 85016

### — INSULATE GARAGE AND THERMAL ENVELOPE OF LIVABLE AREA, R-19 WALLS AND R-38 ATTICS — PAINTED BEADBOARD OR EXTERIOR GYP BOARD AT PORCH CEILING — HEADERS PER FRAMING PLAN, WRAP WITH SMOOTH PAINTED TRIM

1 SECTION AT PORCH

SCALE: 1/2" = 1'-0"

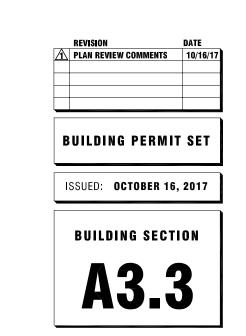
BUILDING PERMIT SET ISSUED: OCTOBER 16, 2017 BUILDING SECTION

## CONSTRUCTION SET

DESIGN & DOCUMENTATION:
TRUESPACE
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1 ROOF FRAMING PLAN
SCALE: 1/2" = 1'-0"



SECTION AT COVERED PATIO, MECHANICAL VOID IN ATTIC

## ONSTRUCTION SET

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ATTENTION: JASON COMER
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PHOENIX, ARIZONA 85016

OWNERS: Sarah & Errol Berry 4208 East San Miguel Avenue Gilbert, Arizona 85016

SCALE: 1/2" = 1'-0"

BUILDING PERMIT SET

ISSUED: OCTOBER 16, 2017

BUILDING SECTION

BUILDING SECTION

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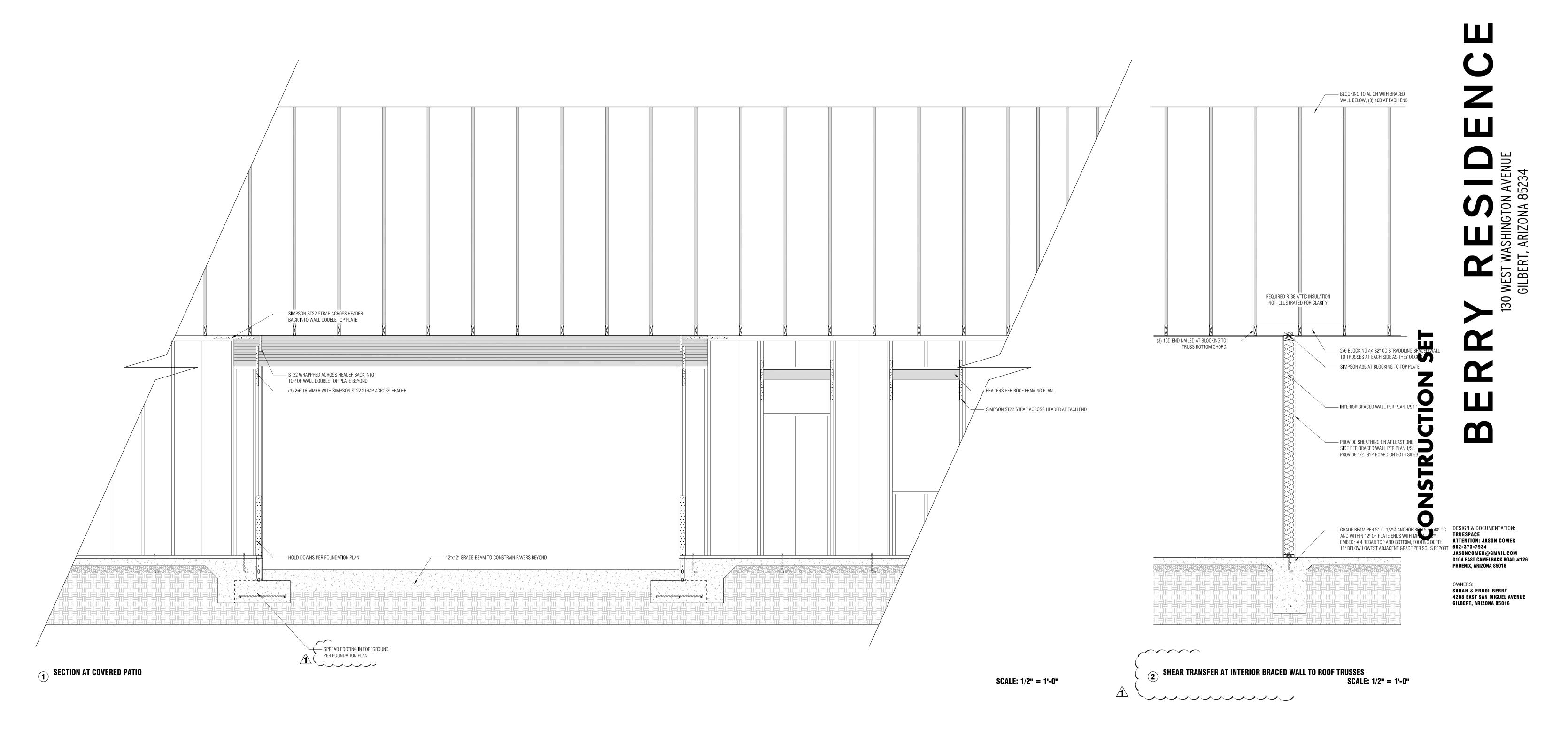
OWNERS: SARAH & ERROL BERRY 4208 EAST SAN MIGUEL AVENUE GILBERT, ARIZONA 85016

SCALE: 1/2" = 11-0"

BUILDING PERMIT SET

ISSUED: OCTOBER 16, 2017

BUILDING SECTION

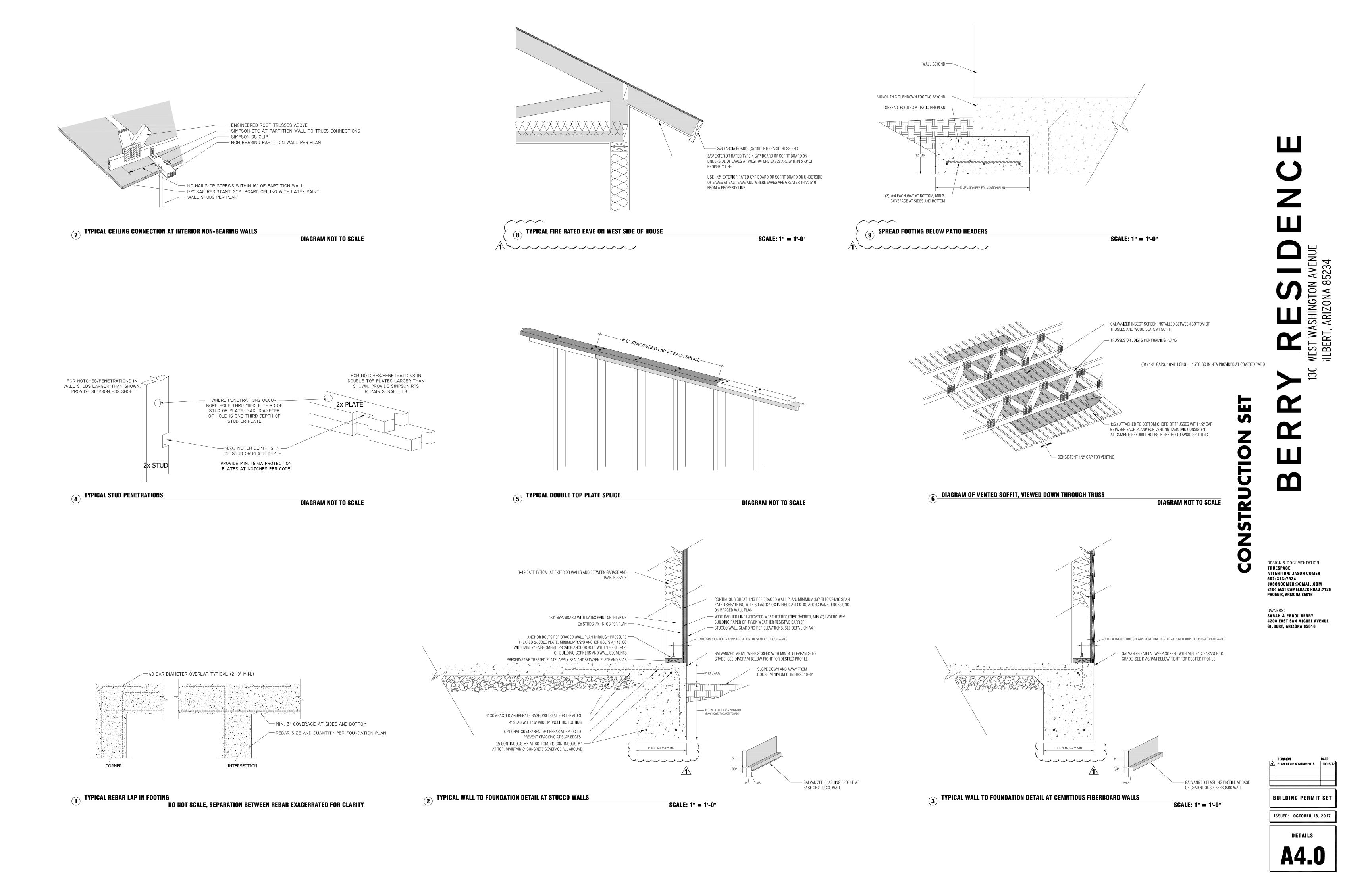


REVISION DATE
PLAN REVIEW COMMENTS 10/16/17

BUILDING PERMIT SET

ISSUED: OCTOBER 16, 2017

BUILDING SECTION



PER BRACED WALL PLAN — 3/8" REVEAL, APPLY SEALANT 2 OUTSIDE CORNER - PLAN VIEW SCALE: 3" = 1'-0"

INTERIOR **EXTERIOR** - HARDIEPLANK LAP SIDING MIN 1.25" OVERLAP I/2" GYP BOARD WITH LATEX PAINT -R-19 BATT INSULATION -- WEATHER RESISTIVE BARRIER, EITHER (2) LAYERS 15# ASPHALT IMPREGNATED FELT OR TYVEK HOUSEWRAP - SHEATHING AND NAILING PER BRACED WALL PLAN

I/2" GYP BOARD WITH LATEX PAINT —

3) DOOR HEAD - SECTION VIEW

R-19 BATT INSULATION ---

HEADER PER STRUCTURAL —

- WEATHER RESISTIVE BARRIER,

ASPHALT IMPREGNATED FELT

--- I/4" GAP TO ALLOW DRAINAGE

- Z FLASHING AT BASE OF HARDIEPLANK LAP SIDING

- HARDIETRIM BOARD

- FLASHING AT WINDOW

SCALE: 3" = 1'-0"

- WINDOW FRAME

- SHEATHING PER BRACED WALL PLAN

EITHER (2) LAYERS 15#

OR TYVEK HOUSEWRAP

— MIN 1.25" OVERLAP

— STARTER STRIP

- CONTINUOUS SHEATHING PER BRACED WALL PLAN - WEATHER RESISTIVE BARRIER, (2) LAYERS OF #15 ASPHALT IMPREGNATED BUILDING PAPER OR TYVEK HOUSEWRAP -2x6 STUDS @ 16" OC PER PLAN (PROVIDE R-19 I" EXANDED POLYSTYRENE (EPS) RIGID — BATT INSULATION, NOT ILLUSTRATED) INSULATION BOARD WITH VERTICAL -1/2" GYP. BOARD WITH LATEX PAINT ON INTERIOR GROOVES ON BACK TO PROVIDE CAPILLARY BREAK BETWEEN FOAM AND WEATHER RESISTIVE BARRIER GALVANIZED LATHE -SAN KOTE STUCCO (EST-2729) OR -WESTERN ONE KOTE STUCCO (IAPMO 382) APPLIED PER MANUACTURER'S INSTRUCTIONS FASTENER DISKS -GALVANIZED DRIP EDGE AT BASE OF CLADDING, SEE-2/A4.0 FOR PROFILE OF FLASHING PRESERVATIVE TREATED SOLE PLATE, APPLY— SEALANT BETWEEN PLATE AND SLAB 4 TYPICAL STUCCO ASSEMBLY

> INTERIOR **EXTERIOR** - STUCCO FINISH AT SIDE YARD, SEE 4/A4.I - 2x6 STUDS PER PLAN --- 1/2" GYP BOARD WITH LATEX PAINT R-19 BATT INSULATION - 3/8" REVEAL, APPLY SEALANT — HARDIETRIM BOARDS --- HARDIETRIM BOARDS HARDIEPLANK LAP SIDING — SHEATHING AND NAILING

SCALE: 3" = 1'-0"

DESIGN & DOCUMENTATION: TRUESPACE ATTENTION: JASON COMER 602-373-7934 JASONCOMER@GMAIL.COM 3104 EAST CAMELBACK ROAD #126

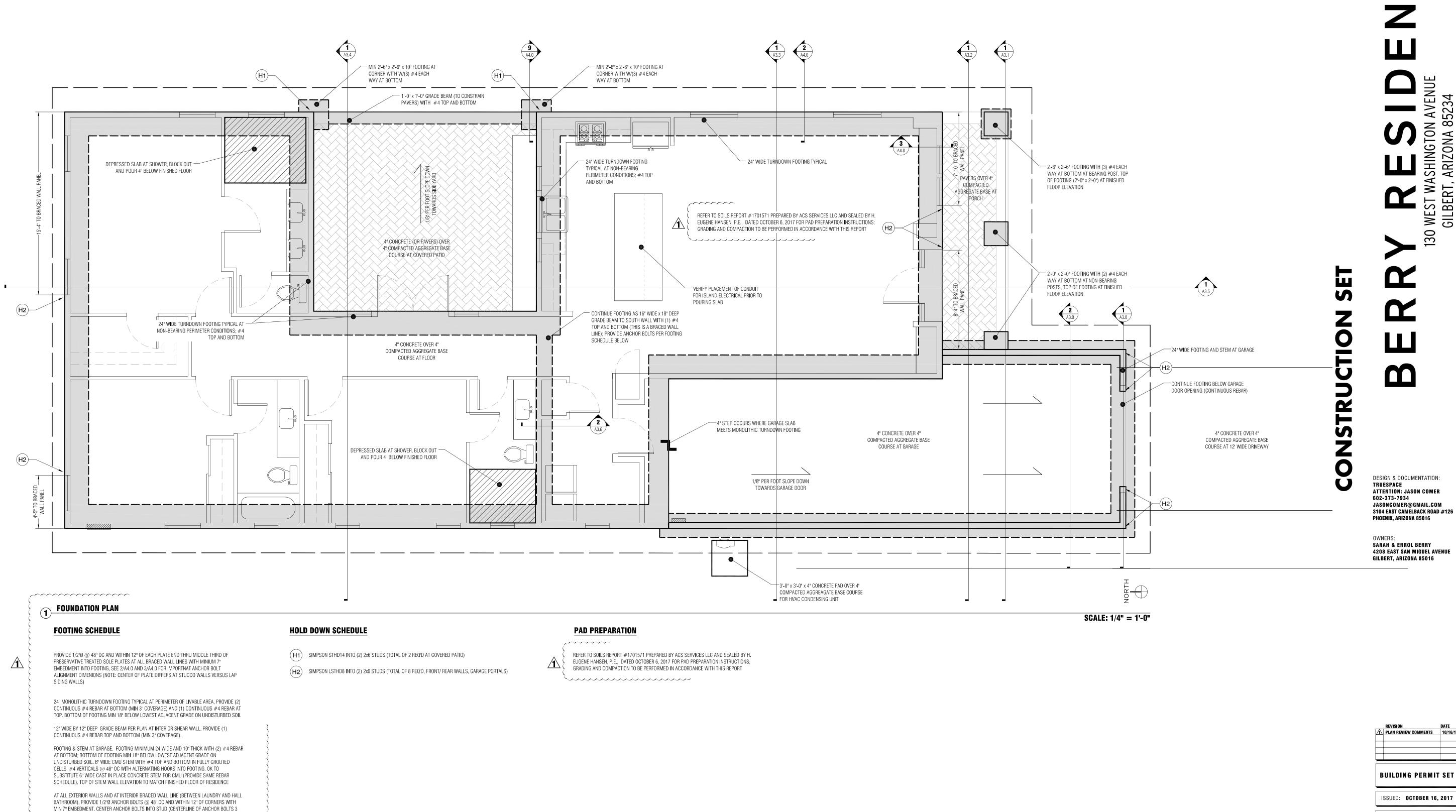
> OWNERS: SARAH & ERROL BERRY 4208 EAST SAN MIGUEL AVENUE GILBERT, ARIZONA 85016

PHOENIX, ARIZONA 85016

BUILDING PERMIT SET

ISSUED: OCTOBER 16, 2017

CLADDING DETAILS



1/4" FROM SLAB EDGE FOR 2x6 STUD WITH 1/2" SHEATHING)

PROVIDE SPREAD FOOTINGS AT PATIO COVER AND PORCH PER PLAN; BOTTOM MIN 18" BELOW

LOWEST ADJACENT GRADE ON UNDISTURBED SOIL, SIZE AND REBAR PER PLAN

DESIGN & DOCUMENTATION: ATTENTION: JASON COMER JASONCOMER@GMAIL.COM 3104 EAST CAMELBACK ROAD #126

**BUILDING PERMIT SET** 

FOUNDATION PLAN

OWNERS: SARAH & ERROL BERRY

USE 1/2" SHEATHING THIS WALL FOR CONSISTENT ANCHOR BOLT ALIGNMENT AT CEMENTIOUS FIBERBOARD CLAD WALLS, SEE 3/A4.0

SCALE: 1/4" = 1'-0"

- 49'-2 $^{3}\!\!/_{4}$ " exterior face of stud to centerline of interior braced wall -

THIS IS A BRACED WALL LINE; SHEATHING MAY BE APPLIED TO EITHER SIDE, SEE BRACED WALL

SCHEDULE BELOW

—(H2)

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4208 EAST SAN MIGUEL AVENUE GILBERT, ARIZONA 85016

BUILDING PERMIT SET

ISSUED: OCTOBER 16, 2017

FLOOR FRAMING PLAN

### 1 BRACED WALL PLAN **BRACED WALL SCHEDULE**

### HOLD DOWN SCHEDULE

-39'- $8\frac{3}{4}$ "EXTERIOR FACE OF STUD TO CENTERLINE OF INTERIOR BRACED WALL -

MIN 3/8" 24/16 SPAN RATED SHEATHING WITH 8D NAILS @ 12" OC IN FIELD AND 6" OC ALONG PANEL EDGES, 1/2" ANCHOR BOLTS PER

- FOUNDATION PLAN FOOTING SCHEDULE, SEE 2/A4.0 FOR ALIGNMENT MIN 1/2" 24/16 SPAN RATED SHEATHING WITH 8D NAILS @ 3" OC INTO ALL STRUCTURAL MEMBERS, 1/2" ANCHOR BOLTS PER FOUNDATION PLAN FOOTING SCHEDULE, SEE 3/A4.0 FOR ALIGNMENT
- (H1) SIMPSON STHD14 INTO (2) 2x6 STUDS (TOTAL OF 2 REQ'D AT COVERED PATIO)
- (H2) SIMPSON LSTHD8 INTO (2) 2x6 STUDS (TOTAL OF 8 REQ'D, FRONT/ REAR WALLS, GARAGE PORTALS)

<u>--</u>| -- 3' -- | -- 2' -- | -- 2' -- | -- 4'-10" -- | -- 2' -- | -- 6'-5¼" -- | -- 2' -- | -- 2' -- | -- 5'-11¾" -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | -- 2' -- | --

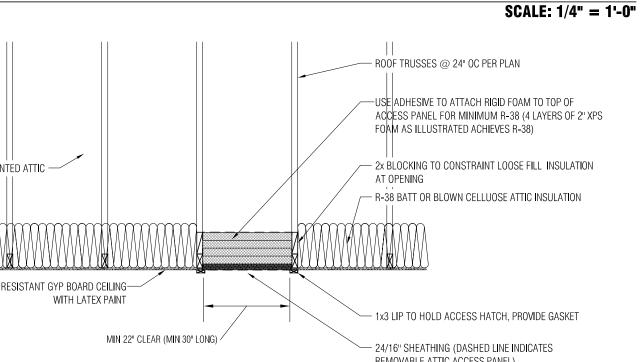
ONSTRU

OWNERS: SARAH & ERROL BERRY 4208 EAST SAN MIGUEL AVENUE GILBERT, ARIZONA 85016

**BUILDING PERMIT SET** 

ISSUED: OCTOBER 16, 2017

ROOF FRAMING PLAN



2x6 FLY RAFTER

2x6 LOOKOUTS @ 32" OC (DROP TOP CHORD 5.5" IN GABLE END TRUSS)

IN LIEU OF SITE BUILT ATTIC ACCESS PANEL, CONTRACTOR MAY ALSO PROVIDE PREMANUFACTURED INSULATED ACCESS DOOR THAT www.batticdoor.com/atticaccessdoor.htm/

### ROOF FRAMING NOTES:

(1) ROOF FRAMING PLAN

SHEATHING

ALL LUMBER DF2 OR BETTER UNLESS OTHERWISE NOTED ON PLANS INTERIOR NON-BEARING HEADERS SHALL BE MINIMUM (2) 2X4 HEADERS UNLESS OTHERWISE NOTED ON ROOF FRAMING PLAN

MECHANICAL PLATFORM IN HATCHED

AREA, SEE BUILDING SECTION

ROOF SHEATHING TO BE MINIMUM 15/32" CDX PLYWOOD OR 7/16" OSB (APA 32/16 SPAN RATED) WITH 8D NAILING AT 12" OC IN FIELD AND 6" OC AT FULLY BLOCKED EDGES.

GAP ALL SHEATHING PER MANUFACTURER'S SPECIFICATIONS. INSTALL H-CLIPS ON 7/16 OSB OR 1/2 PLYWOOD ROOF SHEATHING. AS AN ALTERNATE TO BLOCKING, PROVIDE 24/16 SPAN RATED T&G

PROVIDE RIDGE VENTS (GAF COBRA OR EQUIVALENT) AT RIDGES AND INSTALL PER MANUFACTURER'S SPECIFICATIONS. PROVIDE GAP IN ROOF SHEATHING AT RIDGE TO ALLOW FOR PROPER AIR FLOW AT RIDGE VENTS

### ATTIC VENTING CALCULATION:

SQ IN NFA HIGH VENTING

FRONT PORCH AND AT REAR GABLE END

2690 SF ATTIC @ 1:150 = 17.93 SF OR 2,582 SQ IN NFA REQ'D 2,724 SQ IN NFA PROVIDED AS FOLLOWS:

PROVIDE 1,736 SQ IN LOW VENTING AT COVERED PATIO CEILING

PROVIDE 988 HIGH VENTING AT RIDGE VENTS AND GABLE VENTS MIN 89' OF RIDGE VENT STRIPS WITH 18 SQ IN NFA PER 48" SECTION = 400

PROVIDE (4) TOTAL (TWO AT FRONT, TWO AT REAR) GIBRALTER BUILDING PRODUCTS 14"x24" STEEL LOUVERED GABLE ATTIC VENTS WITH FRONT NAILING FLANGE IN WHITE (HOME DEPORT SKU #501236, MODEL NUMBER GLFFI424WH) WITH 147 SQ IN NFA PER UNIT (588 SQ IN NFA TOTAL AT

GABLE VENTS). GABLE VENTS TO BE PROVIDED ON HIGH GABLE END ABOVE

VENTED ATTIC — 1/2" SAG RESISTANT GYP BOARD CEILING-REMOVABLE ATTIC ACCESS PANEL) SITE BUILT ATTIC ACCESS PANEL SCALE: 1/2" = 1'-0"

2x6 BLOCKING TRUSS TOP/BOTTOM CHORDS— @ 32" OC ALONG BRACED WALL LINE, SEE BUILDING SECTIONS

PREFABRICATED WOOD TRUSSESTO BE PROVIDED BY AN APPROVED FABRICATOR. TRUSS DIAGRAM AND KEYED LAYOUT SHALL BE AVAILABLE TO THE FIELD INSPECTOR AT THE JOB SITE AT THE TIME OF FRAMING INSPECTION

ACCESS PLATFORM IN HATCHED AREA

—MIN 22"x30" ACCESS HATCH IN GARAGE; SEE DETAIL BELOW

HAS GASKET AND AT LEAST R-38 INSULATION VALUE, SUCH AS:

### TABLE R602.3(1A) FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

DESCRIPTION OF BUILDING ELEMENTS

NUMBER/TYPE OF FASTENER

SPACING OF FASTENERS

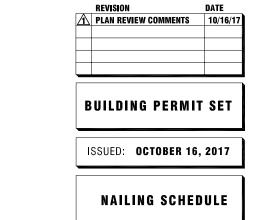
BLOCKING BETWEEN JOISTS OR RAFTERS			
TO TOP PLATE, TOE NAIL		3-8D (21/2" × 0.113")	_
CEILING JOISTS TO PLATE, TOE NAIL		3-8D (21/2"× 0.113")	
CEILING JOISTS NOT ATTACHED TO		0 0D (21/2 × 0.110 )	
PARALLEL RAFTER, LAPS OVER PARTITIONS,			
FACE NAIL		3-10D	_
COLLAR TIE RAFTER, FACE NAIL OR		3-100	
11/4" × 20 GAGE RIDGE STRAP		3-10D (3" × 0.128")	
			<del>_</del>
RAFTER TO PLATE, TOE NAIL		2-16D (31/2" × 0.135")	<del>_</del>
ROOF RAFTERS TO RIDGE, VALLEY OR	TOE MAIL	4.400 (04/0) 0.4050)	
HIP RAFTERS:	TOE NAIL	4-16D (31/2" × 0.135")	_
	FACE NAIL	3-16D (31/2" × 0.135")	_
BUILT-UP CORNER STUDS		10D (3" × 0.128")	24" O.C.
BUILT-UP HEADER, TWO PIECES WITH			
1/2" SPACER		16D (31/2" × 0.135")	16" O.C. ALONG EACH EDGE
CONTINUED HEADER, TWO PIECES		16D (31/2" $\times$ 0.135")	16" O.C. ALONG EACH EDGE
CONTINUOUS HEADER TO STUD, TOE NAIL		8D (21/2" $\times$ 0.113")	_
DOUBLE STUDS, FACE NAIL		10D (3" × 0.128")	24" O.C.
DOUBLE TOP PLATES, FACE NAIL		10D (3" × 0.128")	24" O.C.
DOUBLE TOP PLATES, MINIMUM 24-INCH			
OFFSET OF END JOINTS (FACE NAIL			
IN LAPPED AREA)		8-16D (31/2"× 0.135")	_
SOLE PLATE TO JOIST OR BLOCKING,		(,	
FACE NAIL		16D (31/2" × 0.135")	16" O.C.
SOLE PLATE TO JOIST OR BLOCKING		100 (01/2 // 0.100 )	10 0.0.
AT BRACED WALL PANELS  STUD TO SOLE PLATE, TOE NAIL		3-16D (31/2" × 0.135")  8D (21/2" × 0.113")  OR 2-16D 31/2" × 0.135")	16" O.C. 
AT BRACED WALL PANELS		8D (21/2" × 0.113")	16" O.C. ———————————————————————————————————
AT BRACED WALL PANELS  STUD TO SOLE PLATE, TOE NAIL  TOP OR SOLE PLATE TO STUD, END NAIL  TOP PLATES, LAPS AT CORNERS AND		8D (21/2" × 0.113") OR 2-16D 31/2" × 0.135") 2-16D (31/2" × 0.135")	
AT BRACED WALL PANELS  STUD TO SOLE PLATE, TOE NAIL  TOP OR SOLE PLATE TO STUD, END NAIL  TOP PLATES, LAPS AT CORNERS AND  INTERSECTIONS, FACE NAIL		8D (21/2" × 0.113") OR 2-16D 31/2" × 0.135")	
AT BRACED WALL PANELS  STUD TO SOLE PLATE, TOE NAIL  TOP OR SOLE PLATE TO STUD, END NAIL  TOP PLATES, LAPS AT CORNERS AND  INTERSECTIONS, FACE NAIL  1" BRACE TO EACH STUD AND PLATE,		8D (21/2" × 0.113")  OR 2-16D 31/2" × 0.135")  2-16D (31/2" × 0.135")  2-10D (3" × 0.128")	
AT BRACED WALL PANELS  STUD TO SOLE PLATE, TOE NAIL  TOP OR SOLE PLATE TO STUD, END NAIL  TOP PLATES, LAPS AT CORNERS AND  INTERSECTIONS, FACE NAIL		8D (21/2" × 0.113") OR 2-16D 31/2" × 0.135") 2-16D (31/2" × 0.135") 2-10D (3" × 0.128") 2-8D (21/2" × 0.113")	
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CONSTRUCTION SET

DESIGN & DOCUMENTATION:
TRUESPACE
ATTENTION: JASON COMER
602-373-7934
JASONCOMER@GMAIL.COM
3104 EAST CAMELBACK ROAD #126
PHOENIX, ARIZONA 85016

 $\mathbf{\Omega}$ 

OWNERS: Sarah & Errol Berry 4208 East San Miguel Avenue Gilbert, Arizona 85016



OWNERS: SARAH & ERROL BERRY 4208 EAST SAN MIGUEL AVENUE GILBERT, ARIZONA 85016

PROVIDE MAXIMUM (12) RECEPTACLES ON A 20-AMP CIRCUIT

PROVIDE HARDWIRED AND INTERCONNECTED SMOKE & CARBON

LIGHT FIXTURES IN BATHROOM WITHIN 48" OF SHOWER SHALL BE UL-LISTED FOR USE IN DAMP OR WET LOCATIONS

75% OF ALL LIGHTING TO HAVE HIGH-EFFICACY LAMPS TO MEET

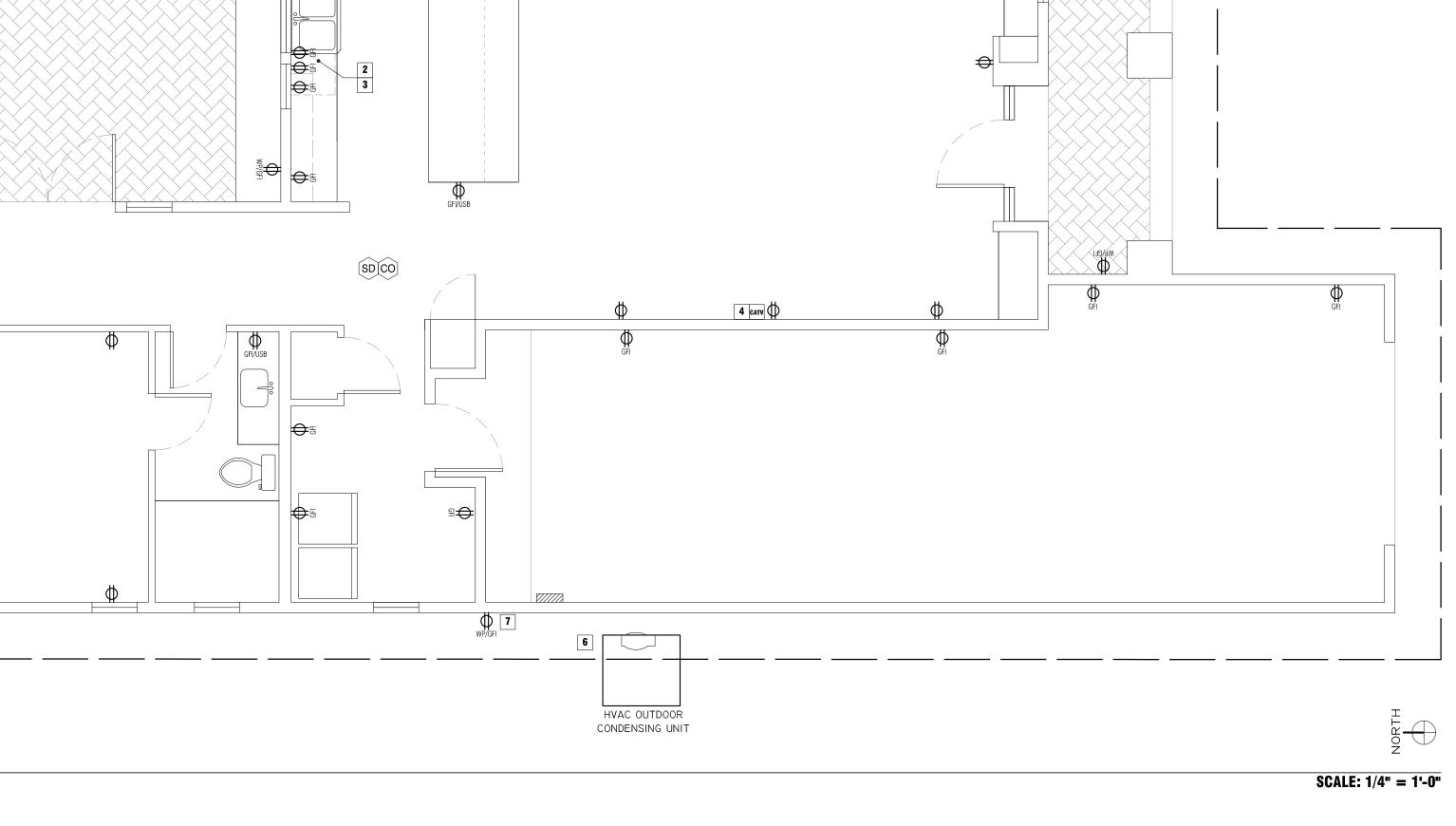
THE 2012 IECC

DESIGN & DOCUMENTATION: TRUESPACE ATTENTION: JASON COMER 602-373-7934 JASONCOMER@GMAIL.COM PHOENIX, ARIZONA 85016

### PROVIDE ONE RECEPTACLE AND ONE UTILITY LIGHT IN ATTIC FOR MAINTENANCE OF ATTIC MOUNTED HVAC EQUIPMENT

MONOXIDE DETECTORS ON A 15-AMP CIRCUIT.

PROVIDE ARC FAULT PROTECTION ("AFCI") TO ALL CIRCUITS WITH 15- OR 20-AMP RECEPTACLES SERVING LIVING ROOM, BEDROOMS, HOME OFFICE, CLOSETS, HALLWAYS, DINING SPACES OR OTHER LIVING SPACES



### **ELECTRICAL SYMBOL KEY**

1) BRACED WALL PLAN

200 AMP SES

- **S** DIMMER SWITCH
- \$ SWITCH CONTROLLD FROM 2 LOCATIONS
- \$ TIMER SWITCH, LUTRON MAESTRO
- TAMPER RESISTANT RECEPTACLE "HALF HOT" SWITCHED TAMPER RESISTANT RECEPTACLE
- TAMPER RESISTANT RECEPTACLE WITH INTEGRATED USB CHARGING PORT
- TAMPER RESISTANT GFI PROTECTED RECEPTACLE
- TAMPER RESISTANT WEATHERPROOF GFI RECEPTACLE UL-LISTED FOR w<sup>p</sup>/gfl use in wet locations
- 220V APPLIANCE RECEPTACLE

- 4" LED RECESSED CAN, IC-RATED IF IN INSUALTION
- 4" LED RECESSED DIRECTIONAL CAN
- LARGE PENDANT
- SMALL PENDANT
- $\Phi$  wall mounted light fixture
- WALL MOUNTED LIGHT FIXTURE LISTED FOR EXTERIOR USE

(SD) HARDWIRED, INTERCONNECTED SMOKE DETECTOR

- (CO) CARBON MONOXIDE DETECTOR
- VENTILATION FAN, REFER TO MECHANICAL SHEETS COAXIAL CABLE (INTERNET / CABLE TV)

### **ELECTRICAL KEYNOTES**

- 1 LOCATE WITHIN 12" OF TOP OF COUNTERTOP
- 2 UNDERCABINET FOR DISPOSAL, PROVIDE ON DEDICATED 20-AMP CIRCUIT
- 3 UNDERCABINET FOR DISHWASHER
- RECEPTACLE/CATV AT 54" AFF FOR WALL MOUNTED FLAT SCREEN TV
- 5 SWITCHED "HALF HOT" RECEPTACLE, SEE ALSO LIGHTING PLAN FOR SWITCH LOCATIONS
- PROVIDE 208/230V SERVICE DISCONNECT AT OUTDOOR CONDENSING UNIT, VERIFY POWER REQUIREMENTS WITH MECHANICAL SYSTEM SPECIFICATIONS. REFER TO MECHANICAL PLANS (MANUAL S EQUIPMENT SPECIFICATION)
- PROVIDE WEATHERPROOF GFI RECEPTACLE WITHIN 20' AND LINE OF SIGHT OF HVAC CONDENSING UNIT FOR MAINTENANCE (NOT ON LOAD SIDE OF DISCONNECT)
- IN ATTIC, PROVIDE GFI RECEPTACLE AND A SWITCHED SURFACE MOUNTED UTILITY LIGHT WITHIN EASY REACH OF THE ATTIC ACCESS PANEL FOR MAINTENANCE
- 9 PROVIDE MOTION DETECTOR FOR LIGHTING CIRCUIT

### **ELECTRICAL NOTES**

ELECTRICIAN TO PROVIDE OVERHEAD POWER SUPPLY MAST BRACING PER UTILITY COMPANY REQUIREMENTS; PROVIDE FLASHING AND SEALANT AT ROOF PENETRATIONS AFTER UTILITY COMPANY HAS COMPLETED CONNECTIONS

ELECTRICIAN TO VERIFY POWER REQUIREMENT WITH MANUFACTURER'S SPECIFICATION FOR A HVAC EQUIPMENT TO ENSURE PROPER BREAKER/WIRE SIZE, POWER REQUIREMENTS TO CONDENSER AND AIR HANDLER (VERIFY AGAINST ACTUAL EQUIPMENT DELIVERED TO SITE TO AVOID CONFLICTS IF SUBSTITUTIONS ARE MADE) . WHERE MANUFACTURER'S RECOMMENDATION CONFLICTS WITH PANEL SCHEDULE,

PROVIDE GFI RECEPTACLE UL-LISTED FOR EXTERIOR USE WITHIN 20' AND LINE OF SIGHT OF HVAC OUTDOOR CONDENSING UNIT. THIS RECEPTACLE SHALL BE ON A 15- OR 20-AMP CIRCUIT AND SHALL NOT BE CONNECTED TO THE LOAD SIDE OF HVAC DISCONNECT.

MANUFACTURER'S SPECIFICATION SHALL PREVAIL

PROVIDE SERVICE DISCONNECT AT NEW HVAC OUTDOOR CONDENSING UNIT, VERIFY POWER REQUIREMENTS WITH MECHANICAL SYSTEM SPECIFICATIONS

MOUNT ALL SWITCH BOXES AND RECEPTACLE BOXES AT CONSISTANT HEIGHTS THROUGHOUT HOUSE, PLUMB AND LEVEL

TYPICAL SWITCH BOXES TO BE MOUNTED 50" AFF MOUNT COUNTERTOP RECEPTACLES 24" ABOVE COUNTER (60"

DISHWASHER RECEPTACLE MOUNTED 6" AFF

TYPICAL RECEPTACLE BOXES 16" AFF UNLESS OTHERWISE NOTED ON PLAN PROVIDE STAPLES FROM WIRE TO CENTER OF STUD WITHIN 6" OF

PROVIDE STAPLES FROM WIRE TO CENTER OF STUD @ 36" OC IN

PROVIDE 16GA METAL PLATES WHERE WIRES PASS THROUGH STUDS (SIMPSON NS1 OR EQUIVALENT)

BUILDING PERMIT SET ISSUED: OCTOBER 16, 2017

> ELECTRICAL POWER PLAN

### TRUESPACE 602-373-7934 3104 EAST CAMELBACK ROAD #126 PHOENIX, ARIZONA 85016

4208 EAST SAN MIGUEL AVENUE GILBERT, ARIZONA 85016

### SCALE: 1/4" = 1'-0"

### OVERHEAD GARAGE DOOR OPENER \$ 200 AMP SES HVAC OUTDOOR CONDENSING UNIT 1 BRACED WALL PLAN

### **ELECTRICAL SYMBOL KEY**

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### **ELECTRICAL KEYNOTES**

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PROVIDE ONE RECEPTACLE AND ONE UTILITY LIGHT IN ATTIC FOR MAINTENANCE OF ATTIC MOUNTED HVAC EQUIPMENT

PROVIDE MAXIMUM (12) RECEPTACLES ON A 20-AMP CIRCUIT

PROVIDE HARDWIRED AND INTERCONNECTED SMOKE & CARBON MONOXIDE DETECTORS ON A 15-AMP CIRCUIT.

PROVIDE ARC FAULT PROTECTION ("AFCI") TO ALL CIRCUITS WITH 15- OR 20-AMP RECEPTACLES SERVING LIVING ROOM, BEDROOMS, HOME OFFICE, CLOSETS, HALLWAYS, DINING SPACES OR OTHER LIVING SPACES

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75% OF ALL LIGHTING TO HAVE HIGH-EFFICACY LAMPS TO MEET THE 2012 IECC

BUILDING PERMIT SET ISSUED: OCTOBER 16, 2017

> ELECTRICAL LIGHTING PLAN

### 1 LOAD CALCULATIONS

GENERAL LIGHTING LOAD

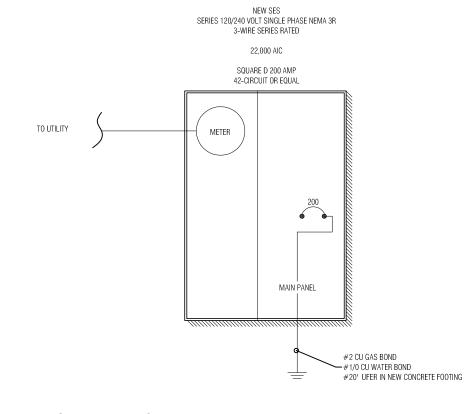
GENERAL EIGHTHAGEONE		
LIVABLE AREA @ 3W PER SF	1,926 SF	5,778 WATTS
SMALL APPLIANCE LOADS		
2 CIRCUITS @ 1,500W EACH		3,000 WATTS
CLOTHES WASHER		1,500 WATTS
CLOTHES DRYER		5,000 WATTS
OVEN		12,000 WATTS
DISHWASHER		1,250 WATTS
DISPOSAL		450 WATTS
MICROWAVE		750 WATTS
REFRIGERATOR		1,200 WATTS
BATHROOM VENT FANS		800 WATTS
GARAGE DOOR OPENER		800 WATTS
SUBTOTAL OF GENERAL LOADS		32,528 WATTS
FIDOT 40 000M \( \text{4000}		40,000 MATT
FIRST 10,000W @ 100% REMAINDER @ 40%		10,000 WATTS 9,011 WATTS
NEWAINDEN @ 40 %		9,011 WATES
		19,011 WATTS
TOTAL GENERAL LOAD		•
TOTAL GENERAL LOAD  HVAC 50AMPS @ 230V		11,500 WATTS
		11,500 WATTS
HVAC 50AMPS @ 230V	240 V	,

### 2 PANEL SCHEDULE

### ELECTRICIAN TO VERIFY CIRCUIT REQUIREMENTS AGAINST APPLIANCE SPECIFICATIONS PRIOR TO INSTALLATION

CIRCUIT	AMPS		POLES	AREA SERVED	CIRCUIT	AMPS		<b>POLES</b>	AREA SERVED
4	50 AMP		1 /	INVAC CIL 1	2	20 AMP	GFCI	1	GARBAGE DISPOSAL
1	1   30 AMP   1	/ 1	HVAC CU-1	4	20 AMP	GFCI	1	SMALL APPLIANCES	
5	40 AMP		1 /	OVEN	6	20 AMP	GFCI	1	SMALL APPLIANCES
J	40 AIVIF		/ 1	OVEN	8	20 AMP	GFCI	1	LAUNDRY RECEPTACLE
9	9 30 AMP 1	1 /	DRYER	10	20 AMP	AFCI	1	MASTER BED RECEPTACLES	
9	30 AIVIF		/ 1	DRIER	12	20 AMP	AFCI	1	LIVING ROOM RECEPTACLES
21	20 AMP	AFCI	1	LIVING ROOM LIGHTING	14	20 AMP	AFCI	1	BEDROOMS, HALL RECEPTACLES
23	15 AMP	AFCI	1	MASTER BED, CLOSET LIGHTING	16	20 AMP	GFCI	1	GARAGE, EXTERIOR RECEPTACLES
21	20 AMP	AFCI	1	BEDROOM, LIGHTING	18	15 AMP		1	SMOKE, CARBON MONOXIDE DETECTORS
23	15 AMP	AFCI	1	MASTER BED, BATH, CLOSET LIGHTING					
21	15 AMP	AFCI	1	MASTER AND HALL BATHROOM LIGHTING					
23	15 AMP	AFCI	1	POWDER, HALL, PATIO LIGHTING					
25	15 AMP	AFCI	1	KITCHEN, MUDROOM LIGHTING					
27	15 AMP		1	GARAGE, EXTERIOR LIGHTING					

### 3 ONE LINE DIAGRAM



### CONSTRUCTION SET

DESIGN & DOCUMENTATION:
TRUESPACE
ATTENTION: JASON COMER
602-373-7934
JASONCOMER@GMAIL.COM
3104 EAST CAMELBACK ROAD #126
PHOENIX, ARIZONA 85016

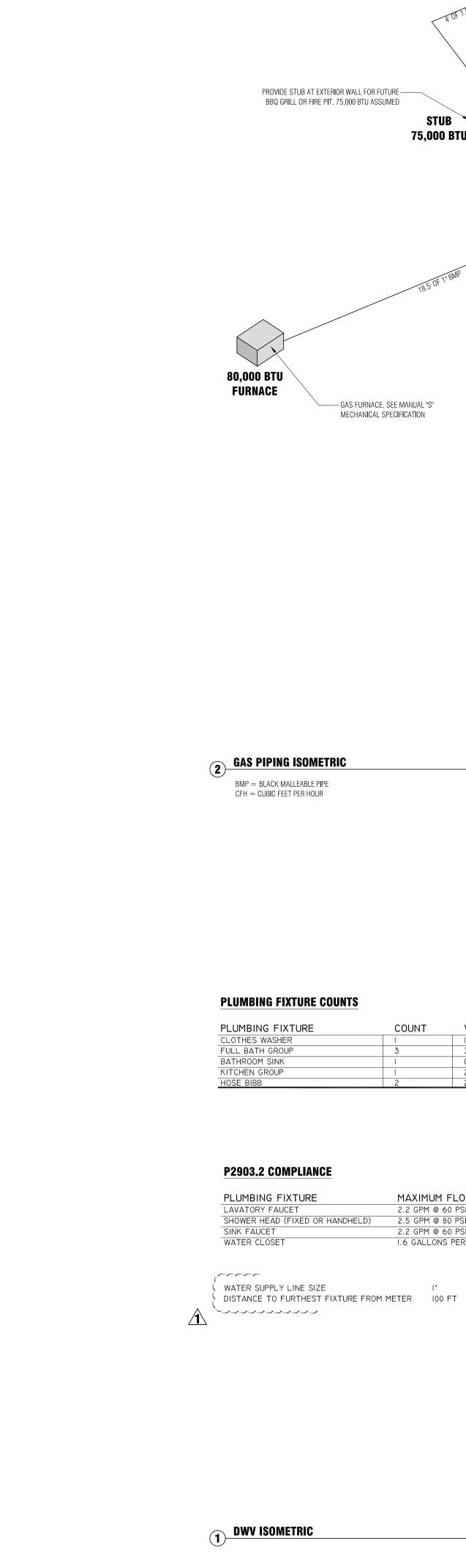
OWNERS: Sarah & Errol Berry 4208 East San Miguel Avenue Gilbert, Arizona 85016

BUILDING PERMIT SET

ISSUED: OCTOBER 16, 2017

ELECTRICAL Schedules

TYKUCTON AVENUE



MAXIMUM FLOW RATE

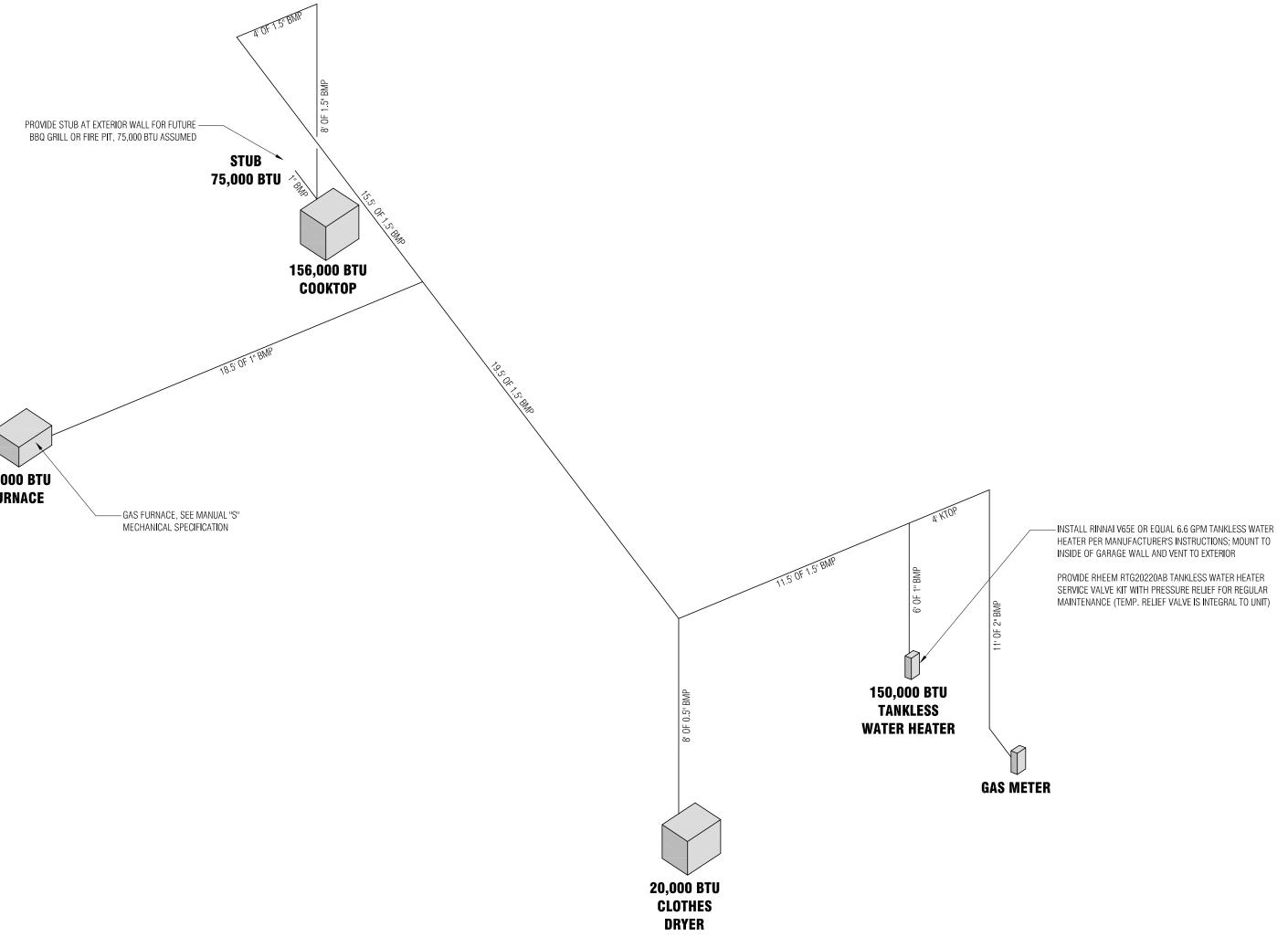
2.2 GPM @ 60 PSI

2.5 GPM @ 80 PSI

2.2 GPM @ 60 PSI

1.6 GALLONS PER FLUSHING CYCLE

TO SEWER



### DO NOT SCALE

DESIGN & DOCUMENTATION: TRUESPACE ATTENTION: JASON COMER 602-373-7934 Jasoncomer@gmail.com 3104 East Camelback Road #126 Phoenix, Arizona 85016

OWNERS: Sarah & Errol Berry 4208 East San Miguel Avenue Gilbert, Arizona 85016

BUILDING PERMIT SET ISSUED: OCTOBER 16, 2017

PLUMBING PLAN

NOT TO SCALE