

BERRY RESIDENCE

130 WEST WASHINGTON AVENUE
GILBERT, ARIZONA 85234

OWNERS:
SARAH & ERROL BERRY
4208 EAST SAN MIGUEL AVENUE
GILBERT, ARIZONA 85016

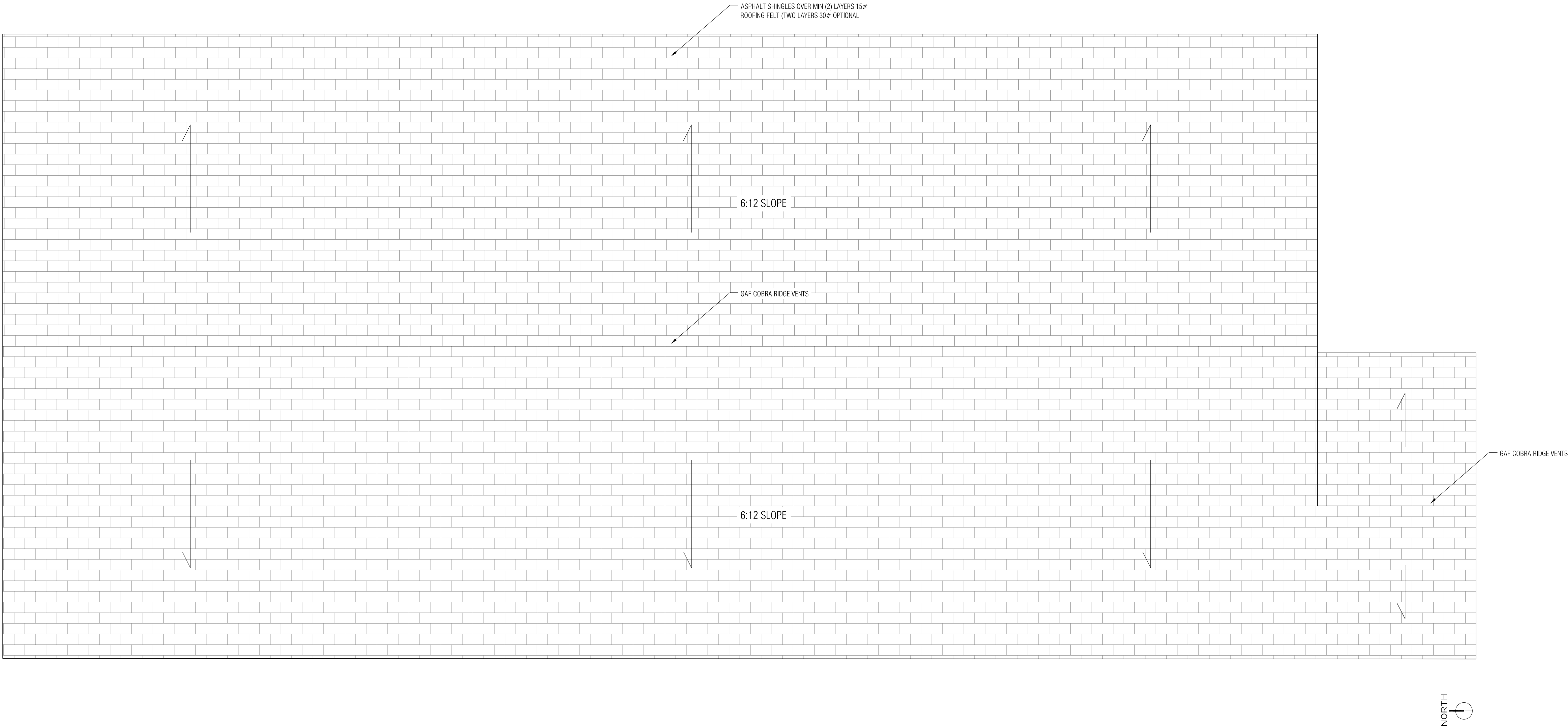
FLOOR PLAN

A1.0



AT ENTRY TO HOUSE THRU GARAGE, PROVIDE SELF-CLOSING, SELF LATCHING SOLID CORE DOOR NOT LESS THAN 1 3/8" THICK, OR DOOR SHALL BE A 20-MINUTE FIRE RATED DOOR

1



1 ROOF PLAN

SCALE: 1/4" = 1'-0"

CONSTRUCTION SET

BERRY RESIDENCE

130 WEST WASHINGTON AVENUE
GILBERT, ARIZONA 85234

DESIGN & DOCUMENTATION:
TRUESPACE
ATTENTION: JASON COMER
602-573-7954
JASONCOMER@GMAIL.COM
3104 EAST CAMELBACK ROAD #126
PHOENIX, ARIZONA 85016

OWNERS:
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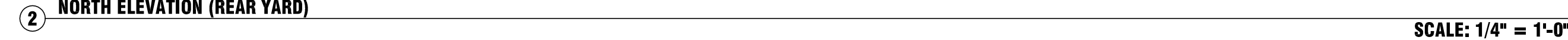
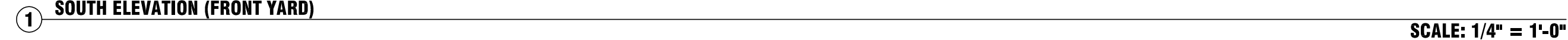
REVISION	DATE
1. PLAN REVIEW COMMENTS	10/16/17

BUILDING PERMIT SET

ISSUED: OCTOBER 16, 2017

ROOF PLAN

A1.1



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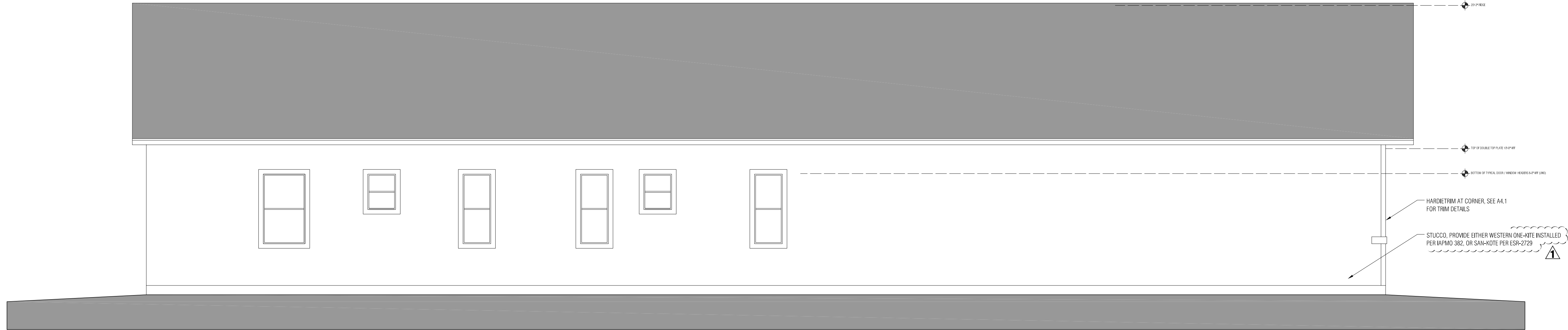
ISSUED: **OCTOBER 16, 2017**

ELEVATIONS
A2.0



2 EAST ELEVATION (SIDE YARD)

SCALE: 1/4" = 1'-0"



1 WEST ELEVATION (SIDE YARD)

SCALE: 1/4" = 1'-0"

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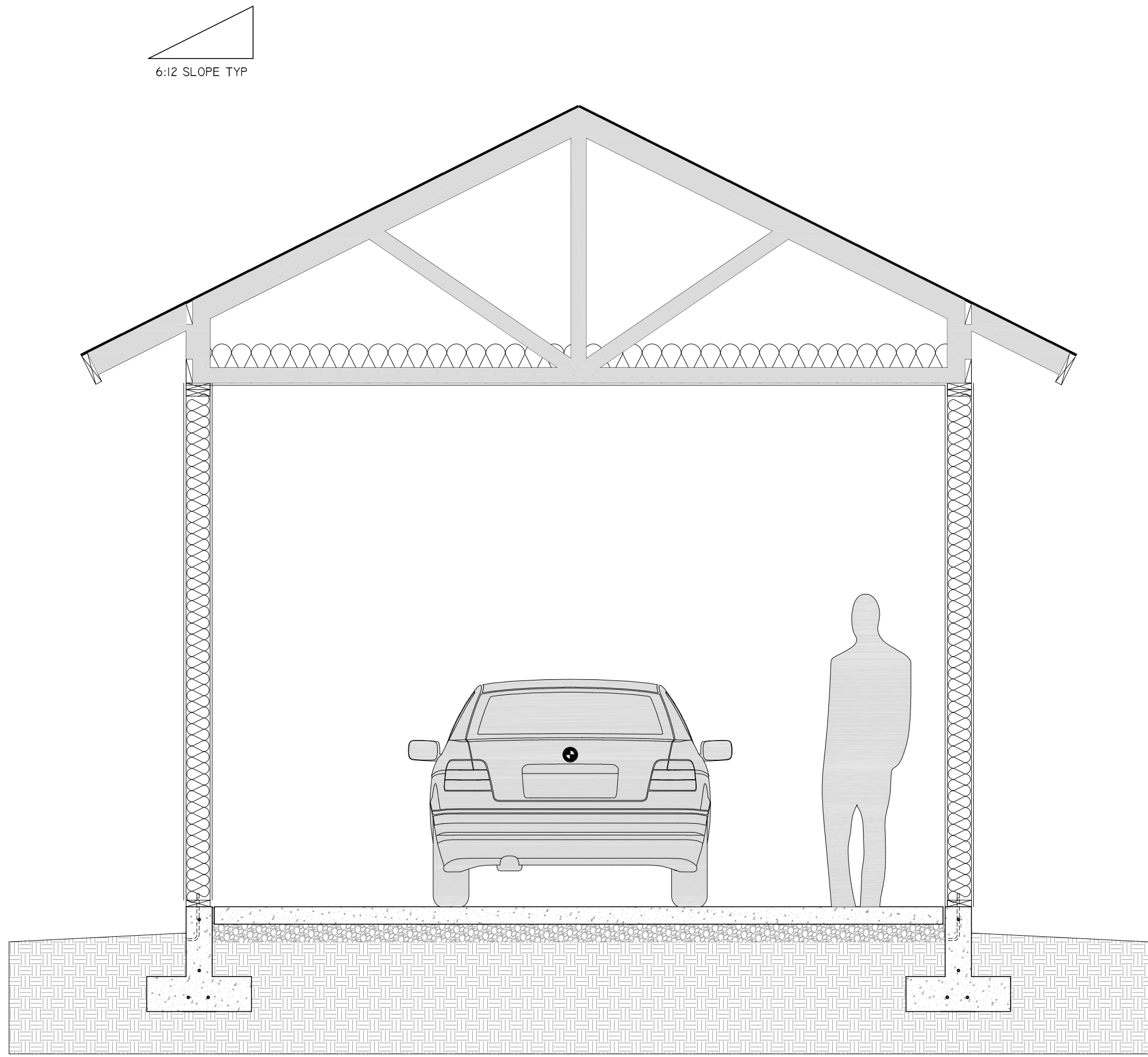
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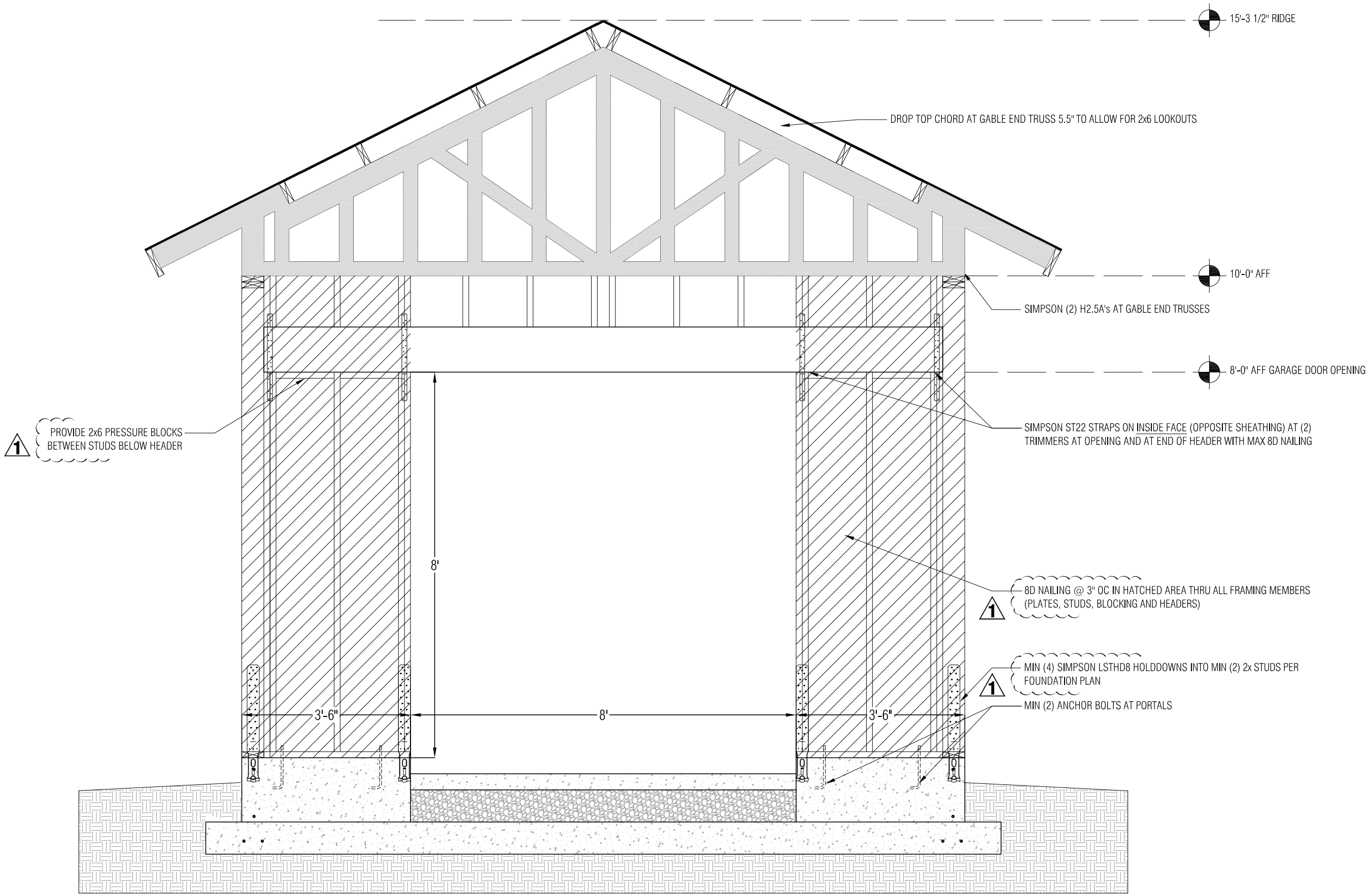
ELEVATIONS

A2.1



2 SECTION AT GARAGE

SCALE: 1/2" = 1'-0"



1 SECTION AT GARAGE GABLE END

SCALE: 1/2" = 1'-0"

CONSTRUCTION SET

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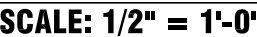
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BUILDING SECTIONS
A3.0



REVISION		DATE
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BUILDING PERMIT SET

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BUILDING SECTION

A3.1

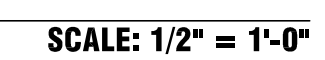
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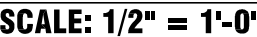
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BUILDING SECTION

A3.2



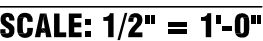


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BUILDING PERMIT SET

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BUILDING SECTION
A3.3

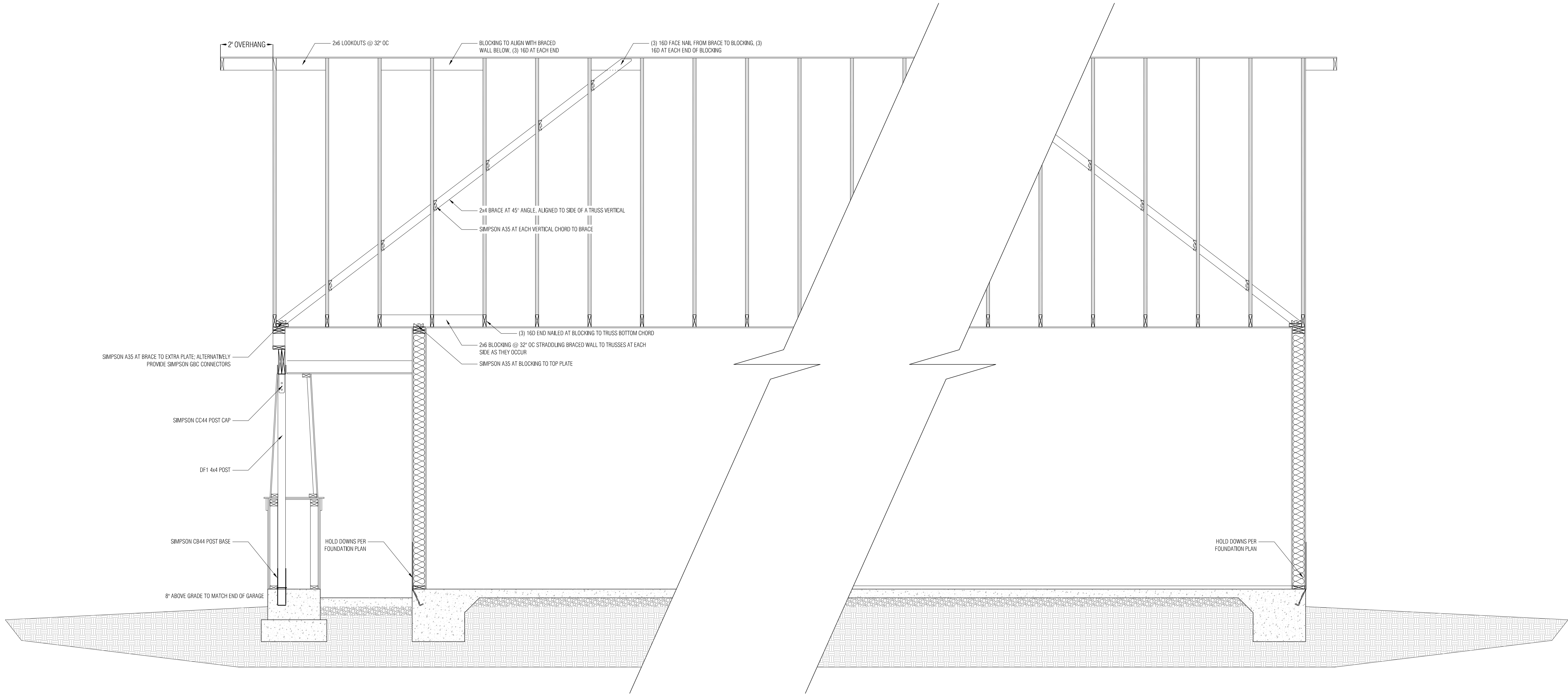


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BUILDING PERMIT SET

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BUILDING SECTION
A3.4



1 BUILDING SECTION

SCALE: 1/2" = 1'-0"

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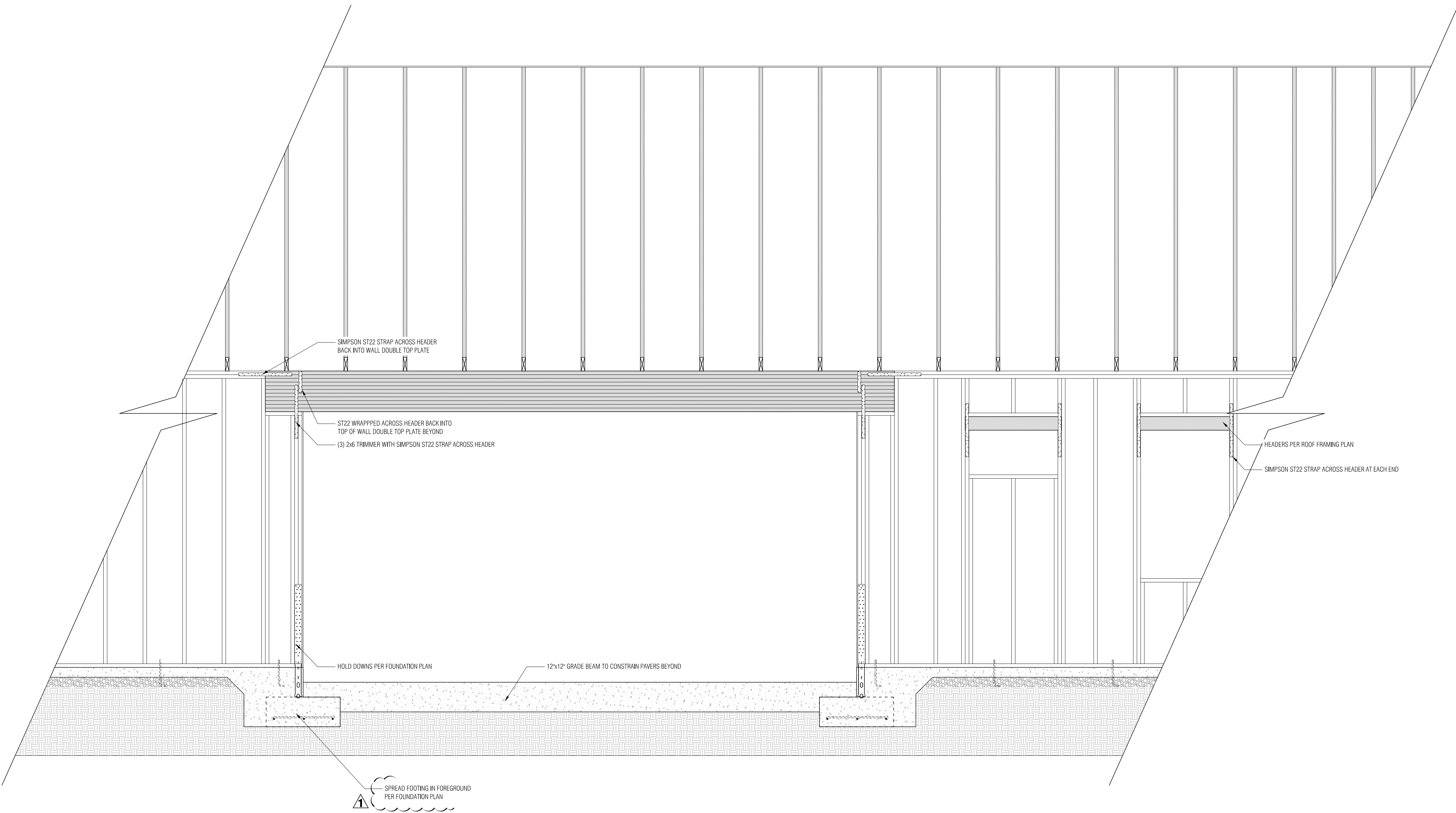
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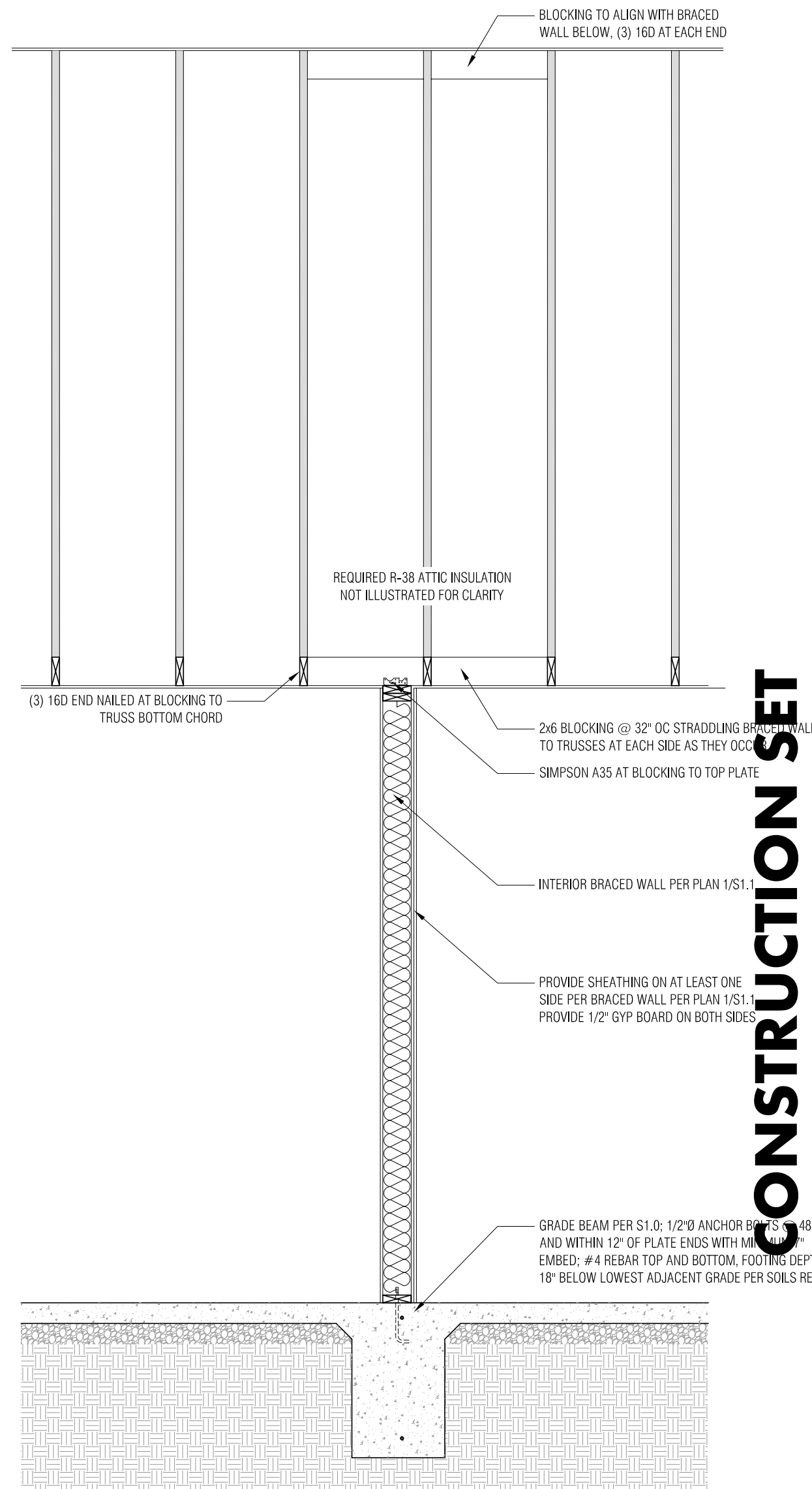
BUILDING SECTION

A3.5



1 SECTION AT COVERED PATIO

SCALE: 1/2" = 1'-0"



2 SHEAR TRANSFER AT INTERIOR BRACED WALL TO ROOF TRUSSES

SCALE: 1/2" = 1'-0"

CONSTRUCTION SET

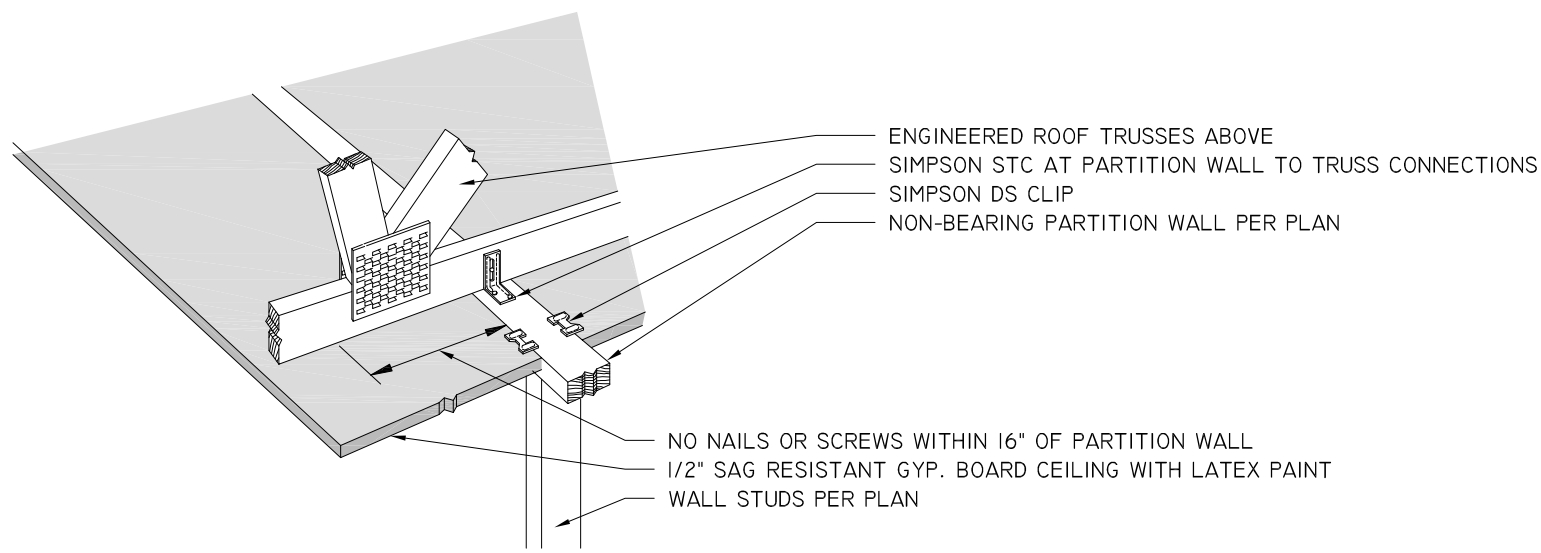
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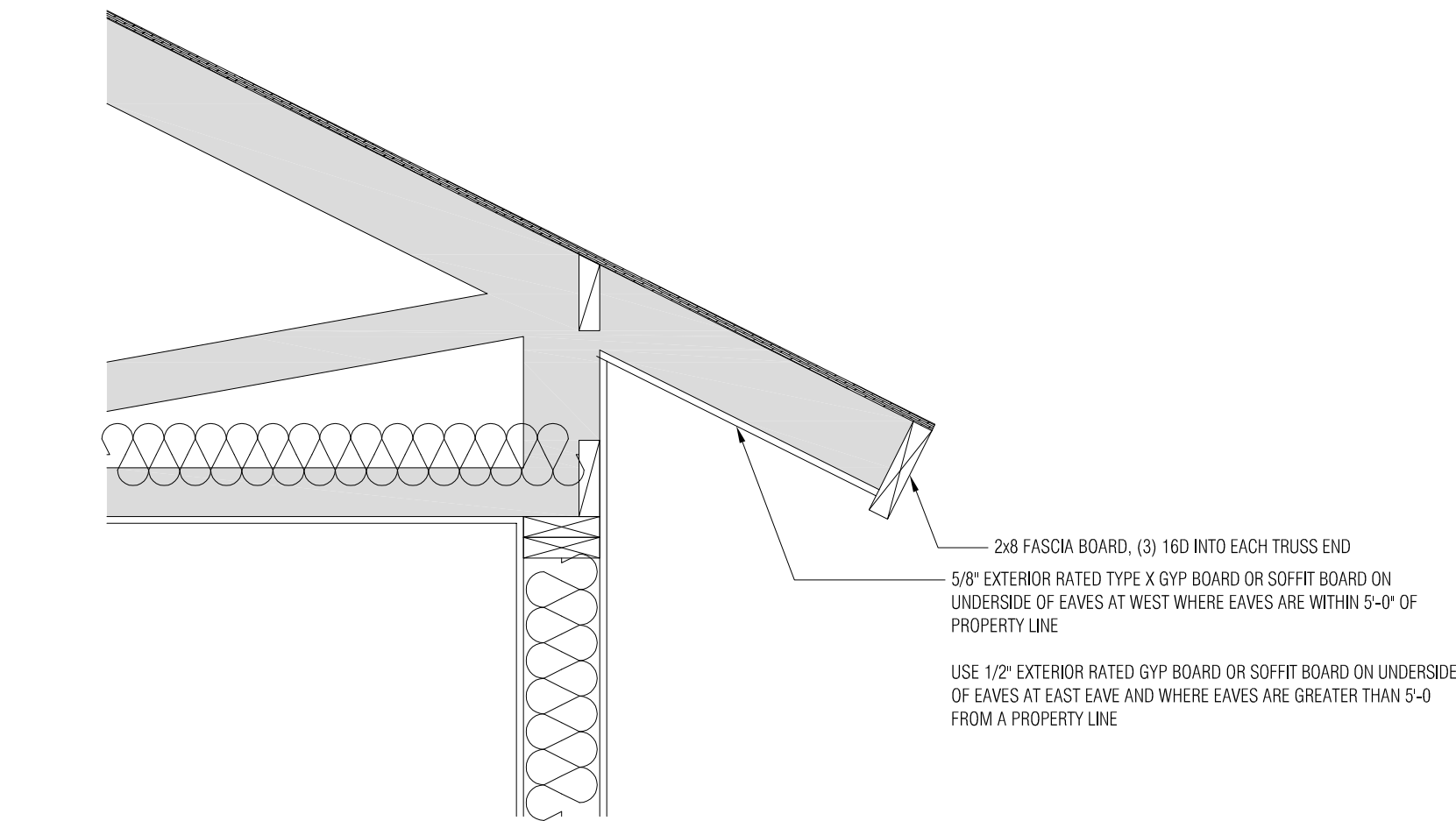
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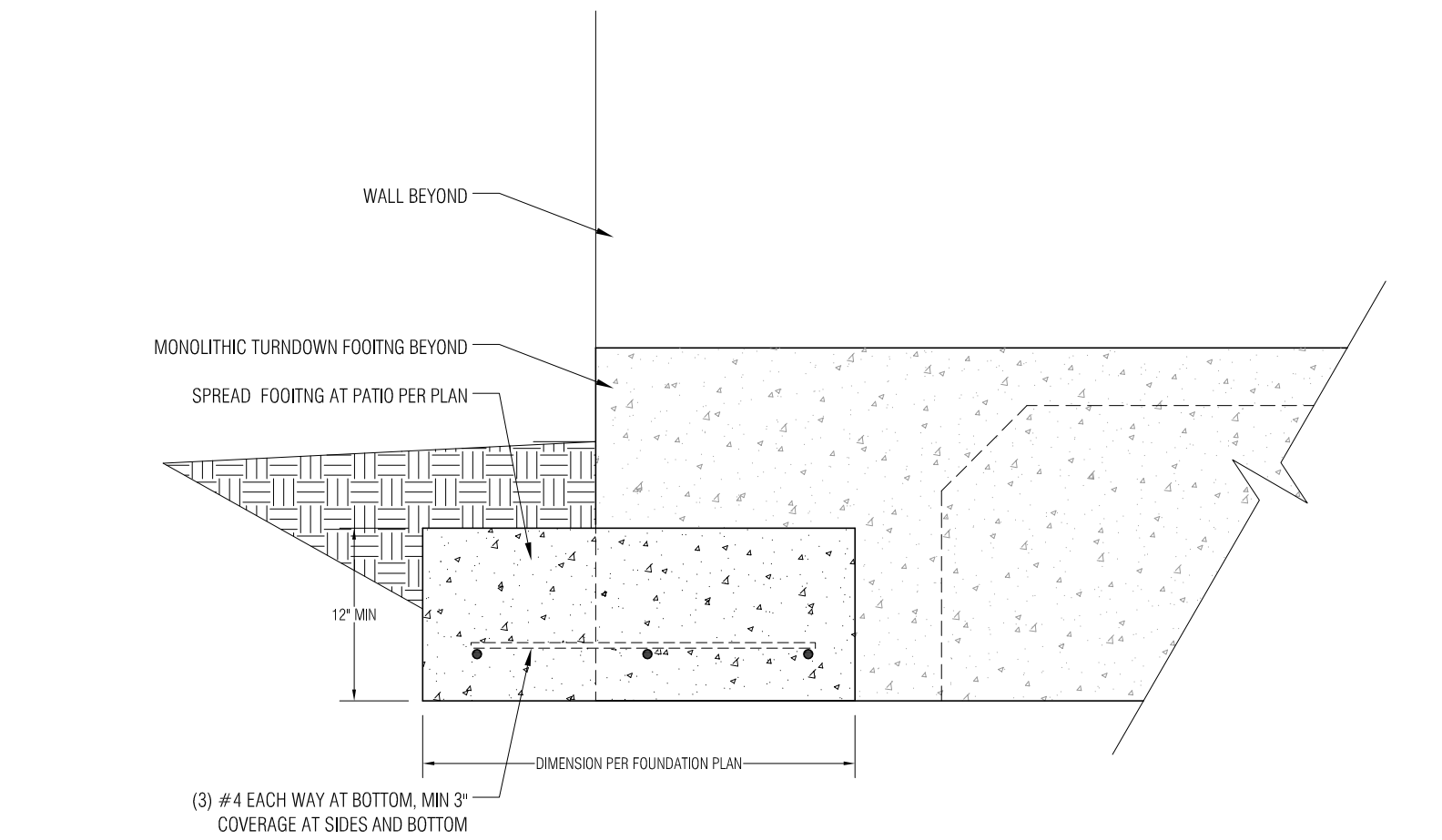
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BUILDING SECTION	
A3.6	



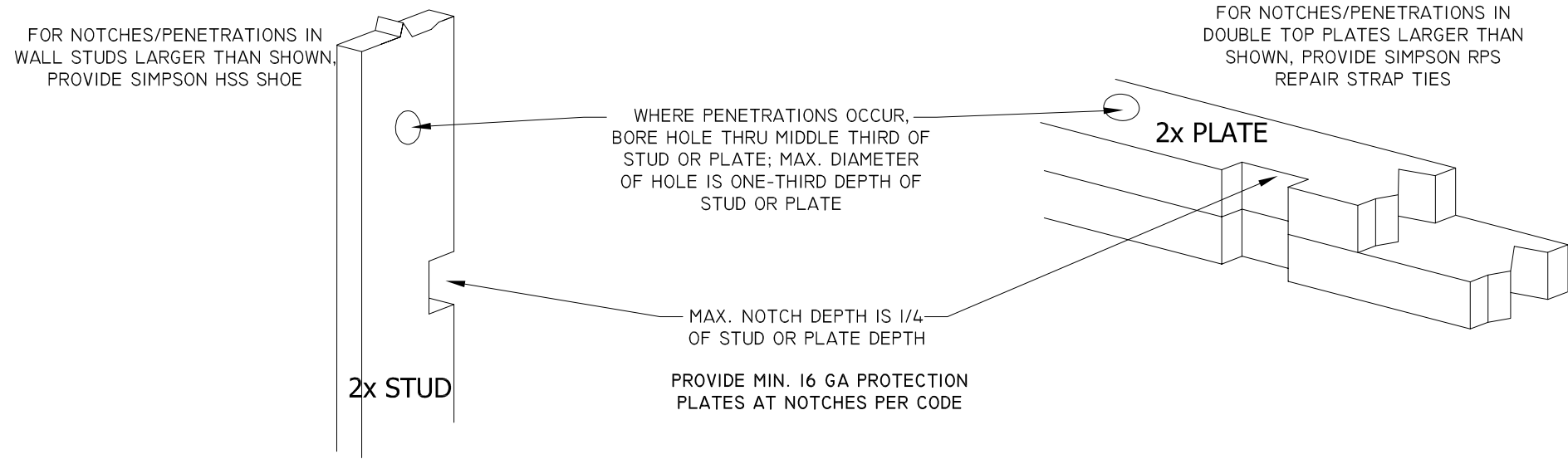
7 TYPICAL CEILING CONNECTION AT INTERIOR NON-BEARING WALLS
DIAGRAM NOT TO SCALE



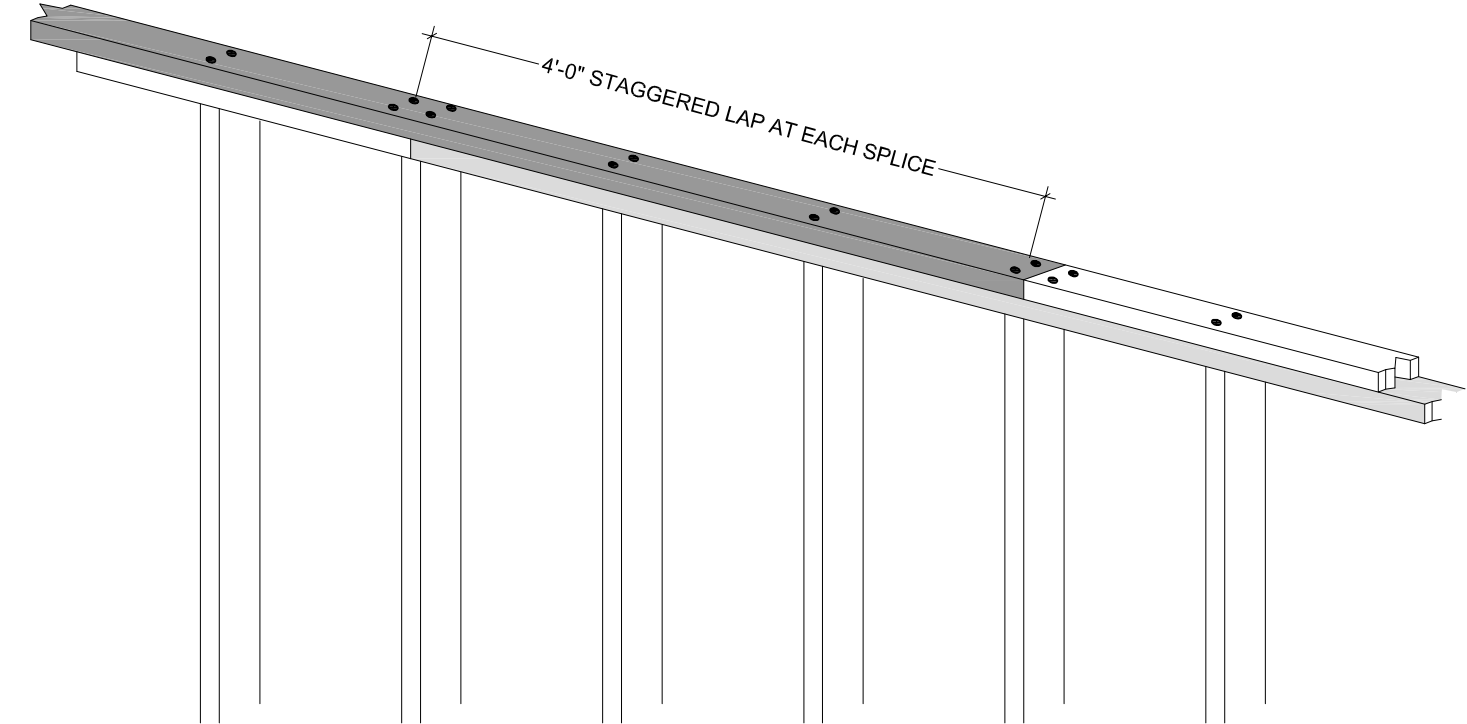
8 TYPICAL FIRE RATED EAVE ON WEST SIDE OF HOUSE
SCALE: 1" = 1'-0"



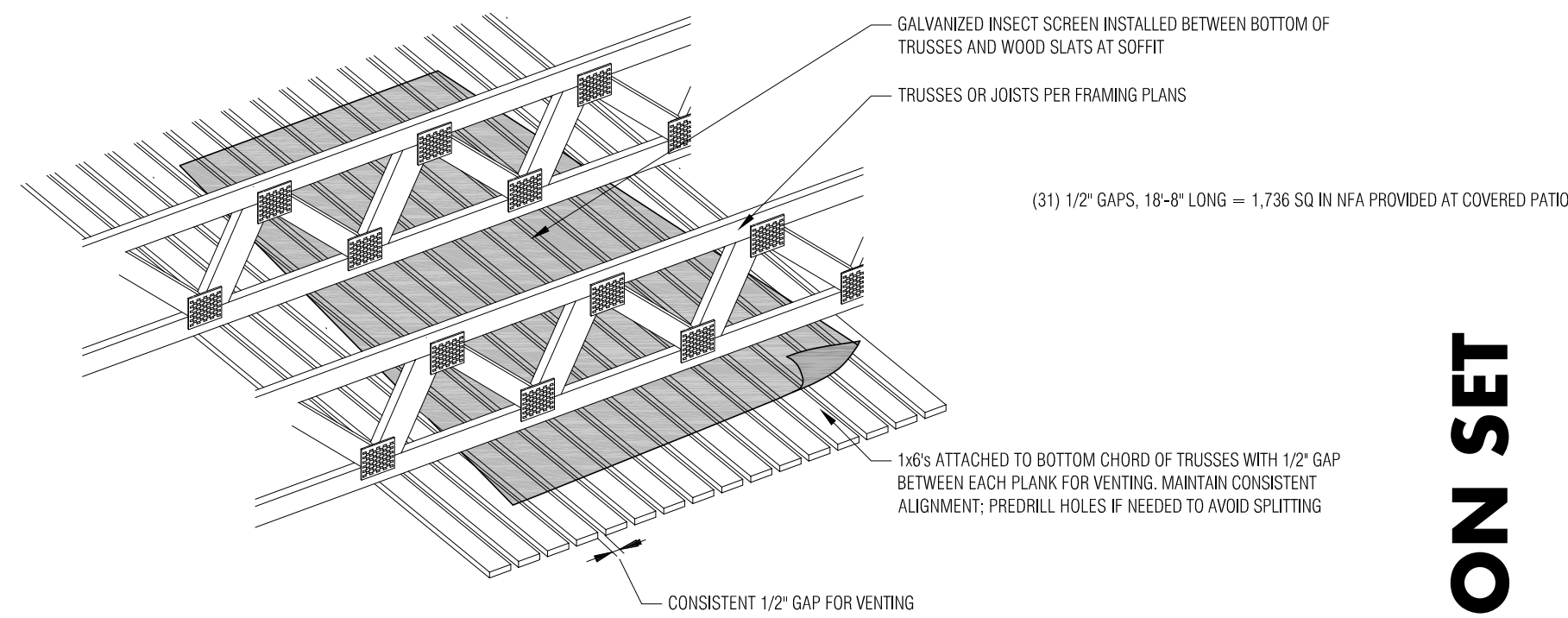
9 SPREAD FOOTING BELOW PATIO HEADERS
SCALE: 1" = 1'-0"



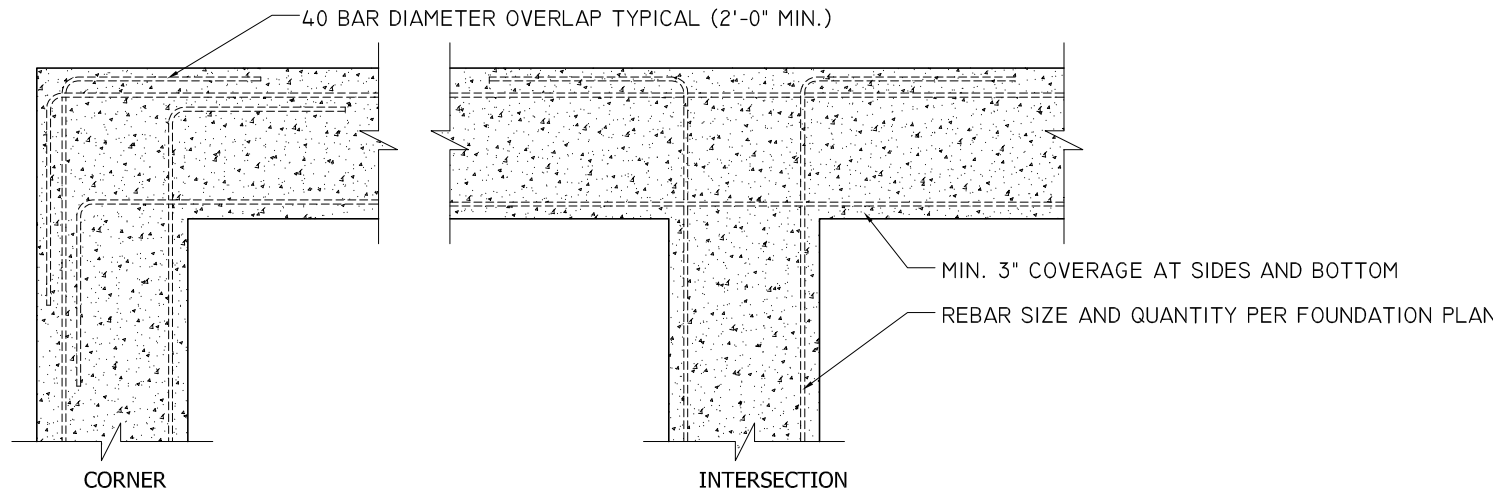
4 TYPICAL STUD PENETRATIONS
DIAGRAM NOT TO SCALE



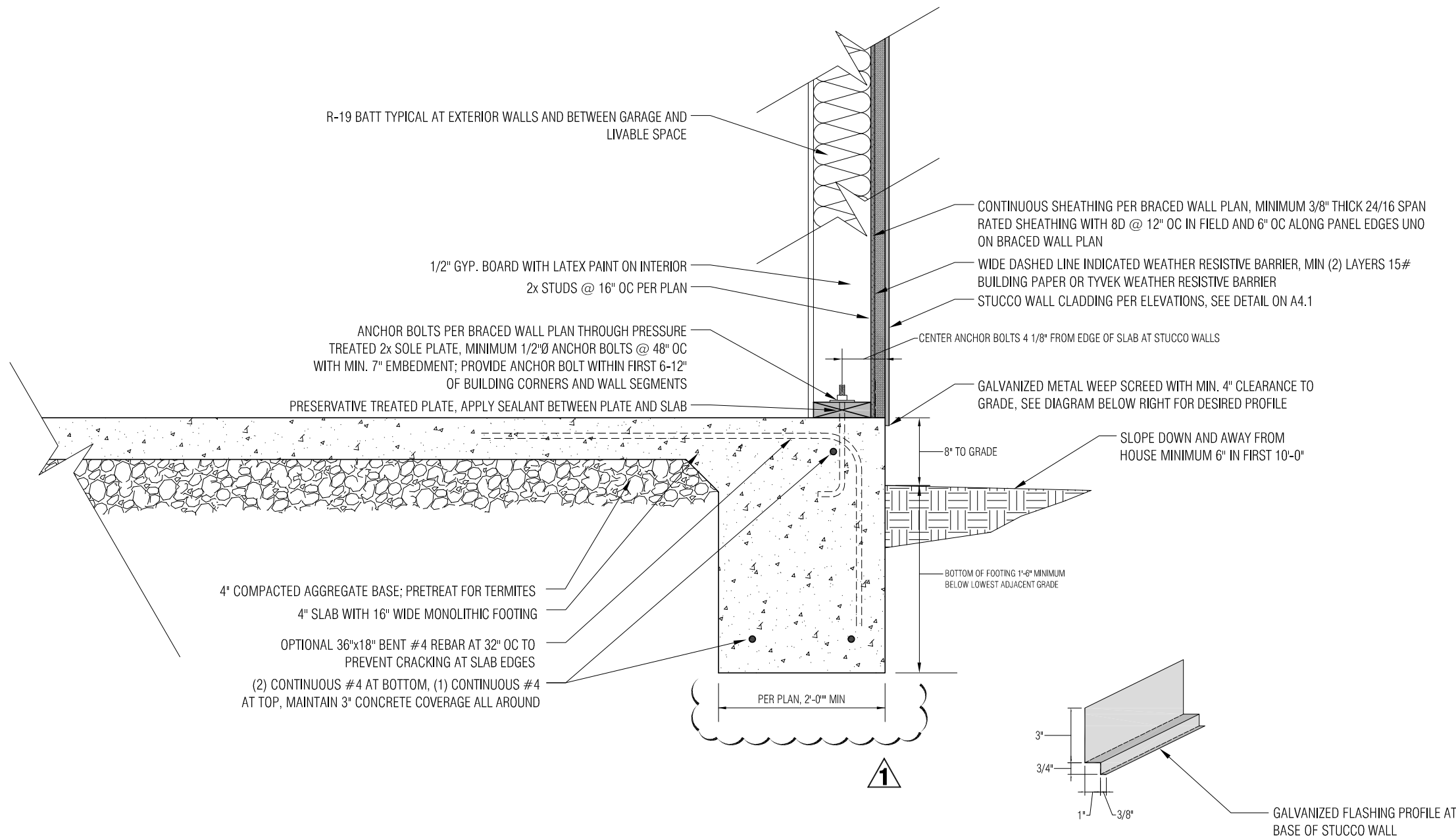
5 TYPICAL DOUBLE TOP PLATE SPLICE
DIAGRAM NOT TO SCALE



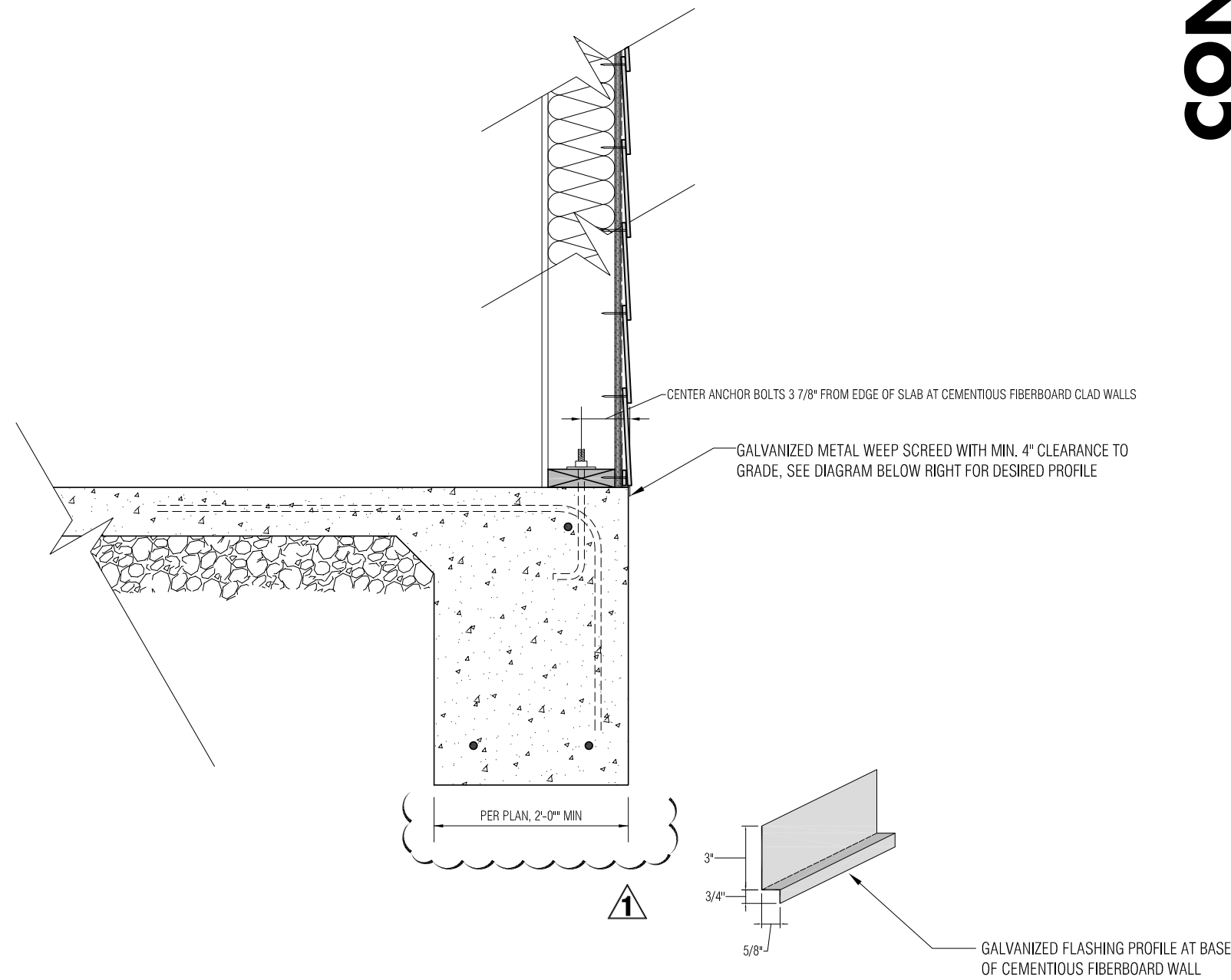
6 DIAGRAM OF VENTED SOFFIT, VIEWED DOWN THROUGH TRUSS
DIAGRAM NOT TO SCALE



1 TYPICAL REBAR LAP IN FOOTING
DO NOT SCALE, SEPARATION BETWEEN REBAR EXAGGERATED FOR CLARITY



2 TYPICAL WALL TO FOUNDATION DETAIL AT STUCCO WALLS
SCALE: 1" = 1'-0"



3 TYPICAL WALL TO FOUNDATION DETAIL AT CEMENTIOUS FIBERBOARD WALLS
SCALE: 1" = 1'-0"

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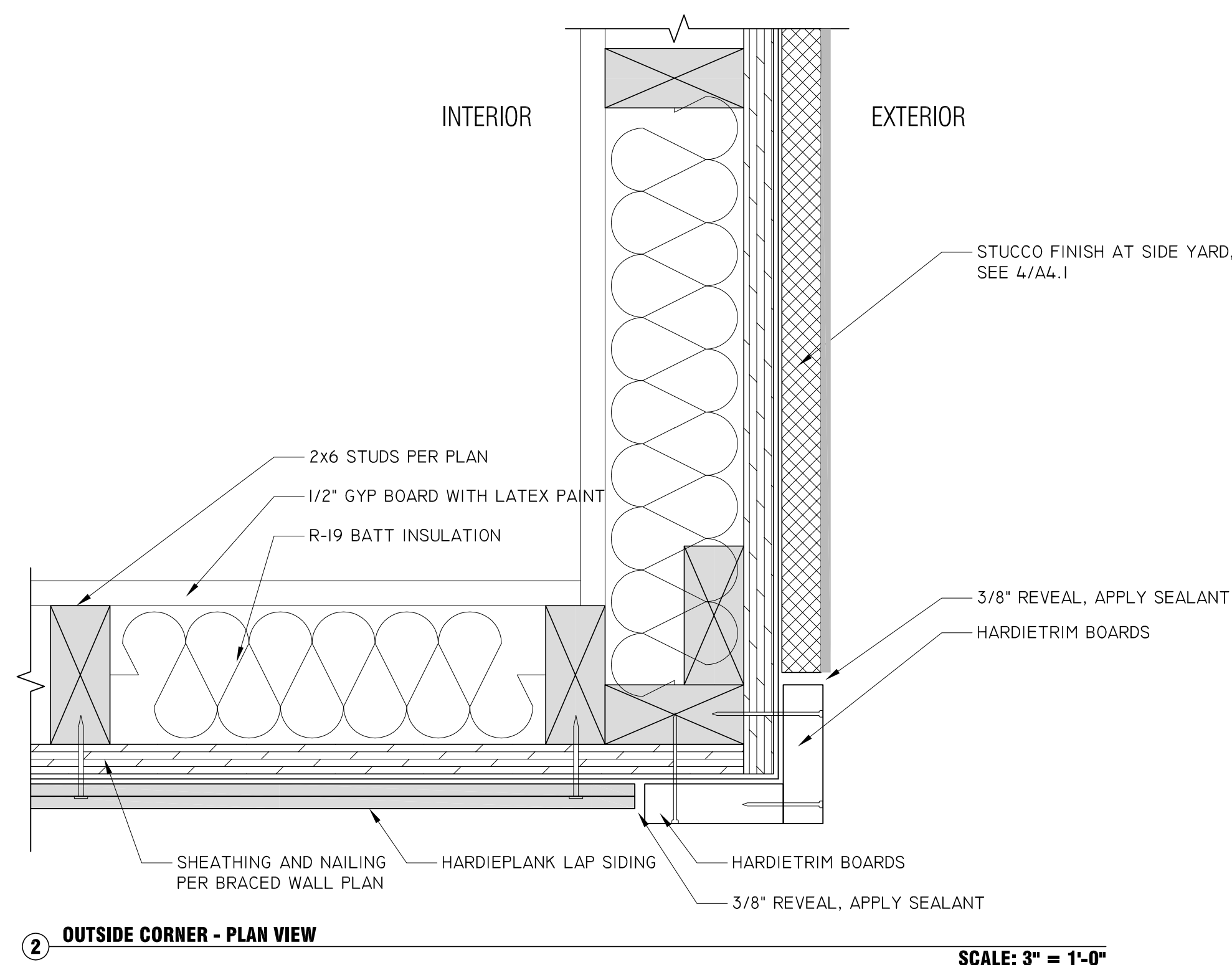
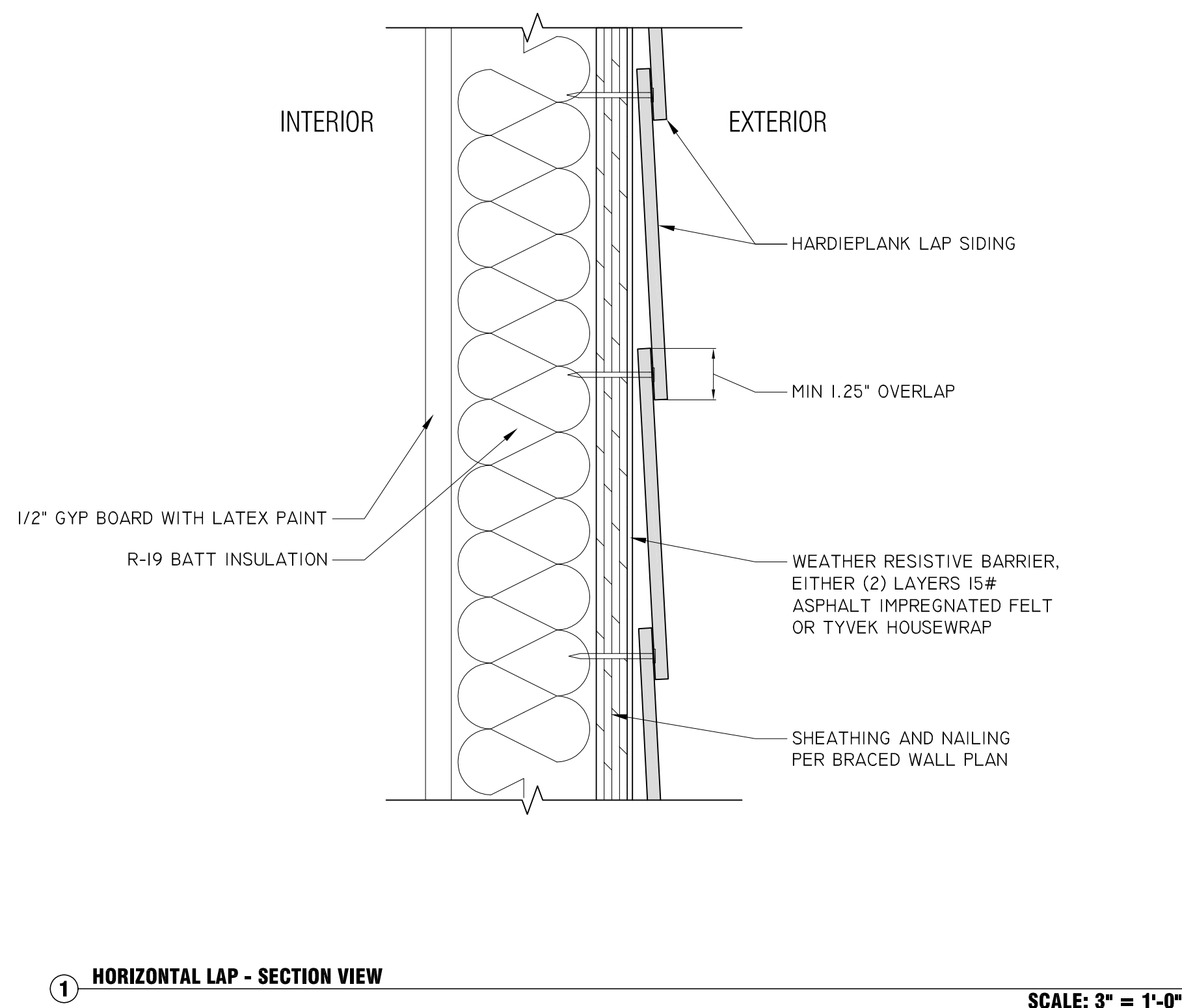
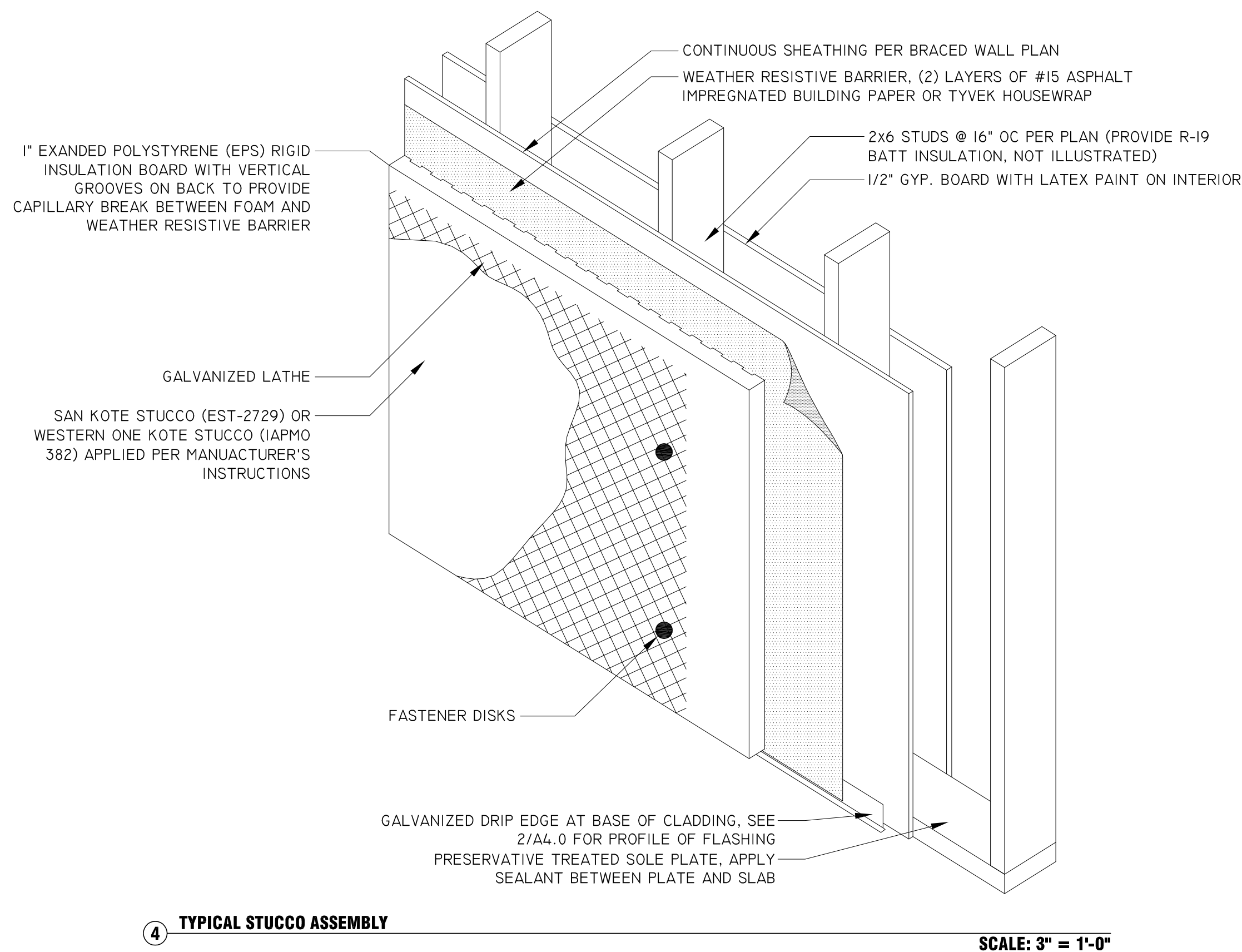
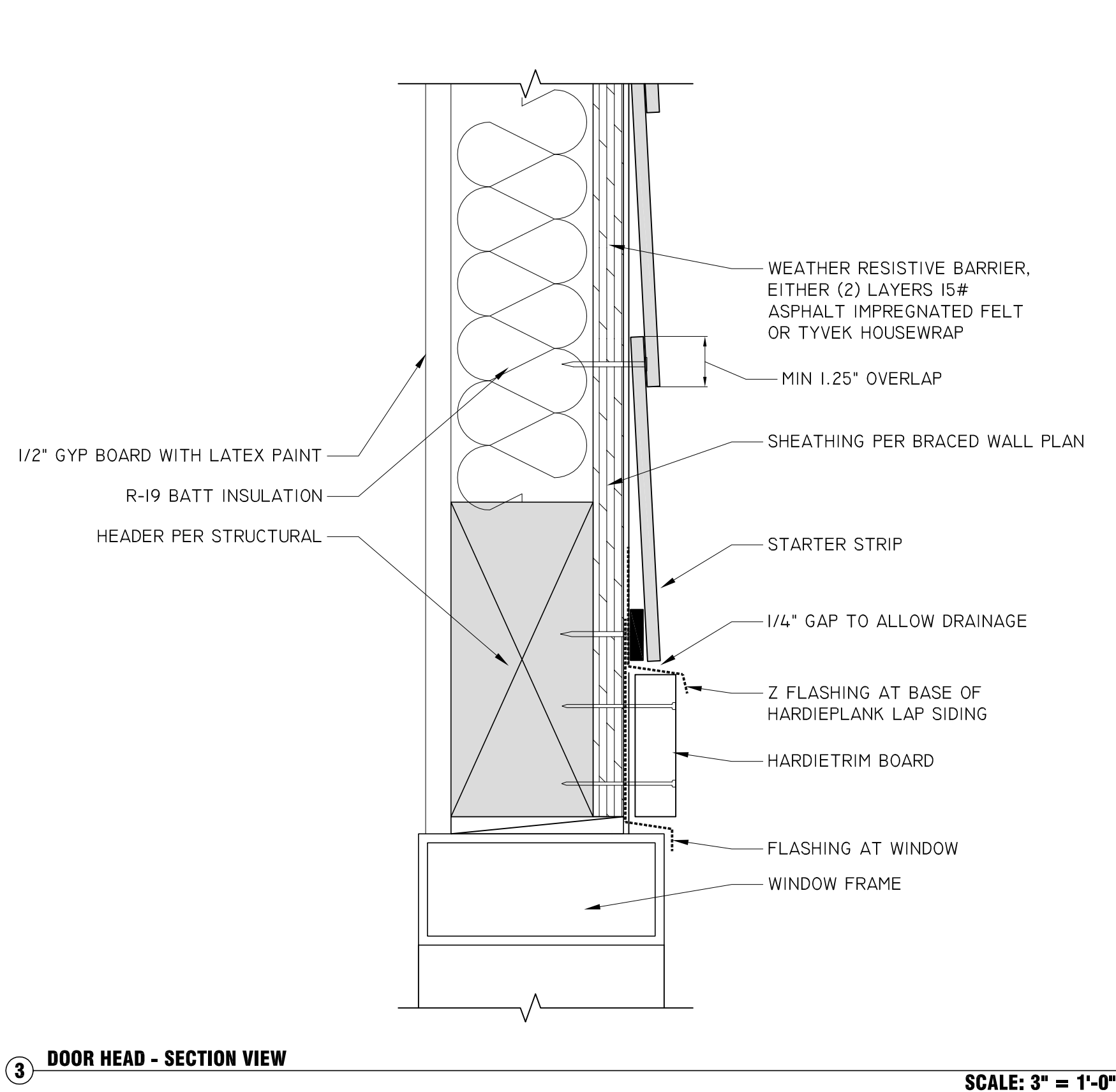
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DETAILS
A4.0



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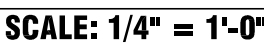
BUILDING PERMIT SET

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EXTERIOR
CLADDING DETAILS
A4.1

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FOOTING SCHEDULE

PROVIDE SPREAD FOOTINGS AT PATIO COVER AND PORCH PER PLAN; BOTTOM MIN 18" BELOW
LOWEST ADJACENT GRADE ON UNDISTURBED SOIL; SIZE AND REBAR PER PLAN

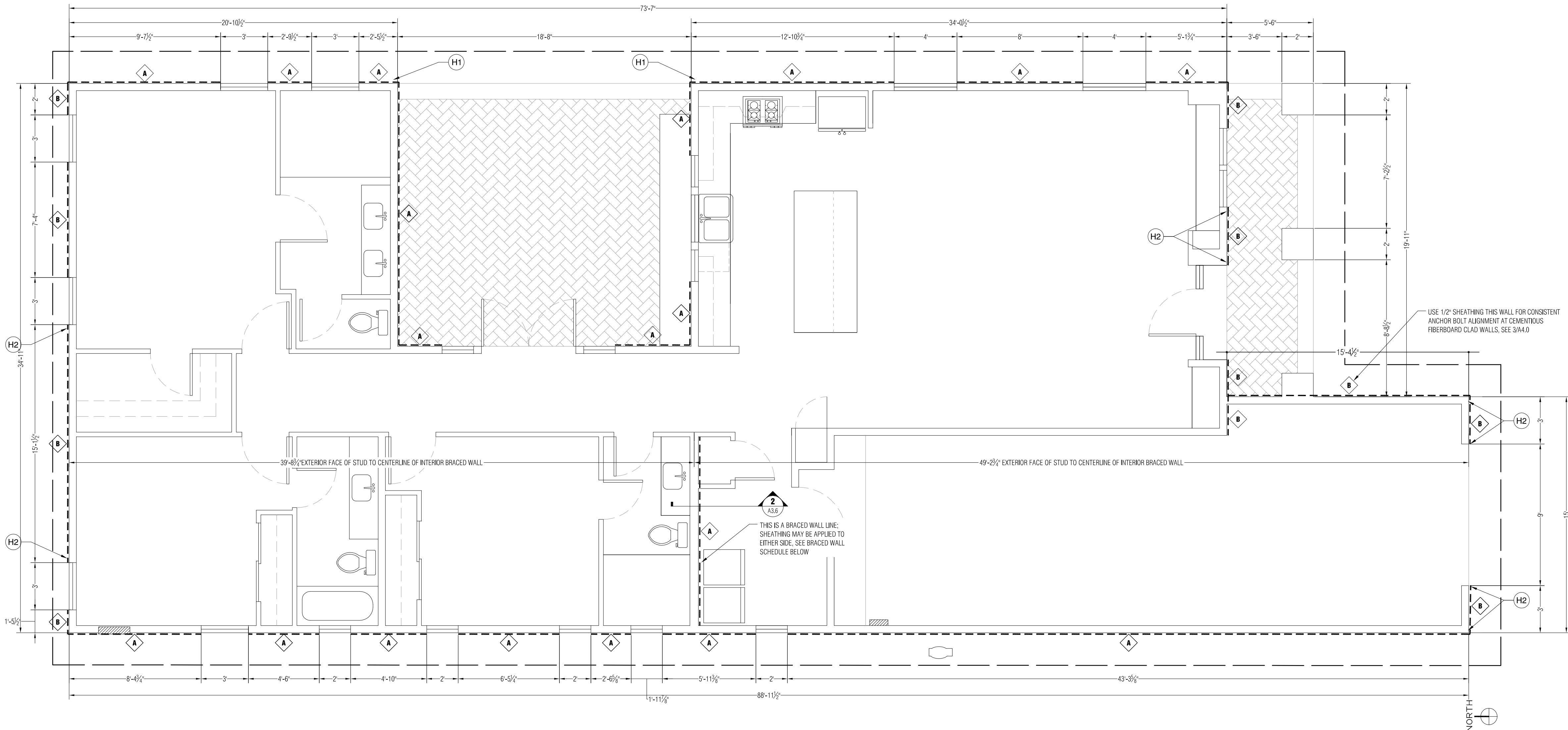
HOLD DOWN SCHEDULE

- ## PAD PREPARATION

REFER TO SOILS REPORT #1701571 PREPARED BY ACS SERVICES LLC AND SEALED BY H
EUGENE HANSEN, P.E., DATED OCTOBER 6, 2017 FOR PAD PREPARATION INSTRUCTIONS;
GRADING AND COMPACTION TO BE PERFORMED IN ACCORDANCE WITH THIS REPORT

FOUNDATION PLAN

\$1.0



1 BRACED WALL PLAN

BRACED WALL SCHEDULE

- A MIN 3/8" 24/16 SPAN RATED SHEATHING WITH 8D NAILS @ 12" OC IN FIELD AND 6" OC ALONG PANEL EDGES, 1/2" ANCHOR BOLTS PER FOUNDATION PLAN FOOTING SCHEDULE. SEE 2/A4.0 FOR ALIGNMENT
- B MIN 1/2" 24/16 SPAN RATED SHEATHING WITH 8D NAILS @ 3" OC INTO ALL STRUCTURAL MEMBERS, 1/2" ANCHOR BOLTS PER FOUNDATION PLAN FOOTING SCHEDULE. SEE 3/A4.0 FOR ALIGNMENT

HOLD DOWN SCHEDULE

- H1 SIMPSON STHD14 INTO (2) 2x6 STUDS (TOTAL OF 2 REQ'D AT COVERED PATIO)
- H2 SIMPSON LSTHD8 INTO (2) 2x6 STUDS (TOTAL OF 8 REQ'D, FRONT/ REAR WALLS, GARAGE PORTALS)

SCALE: 1/4" = 1'-0"

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FLOOR FRAMING PLAN
S1.1

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1 ROOF FRAMING PLAN

S1.2

TABLE R602.3(1A) FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

DESCRIPTION OF BUILDING ELEMENTS		NUMBER/TYPE OF FASTENER	SPACING OF FASTENERS
BLOCKING BETWEEN JOISTS OR RAFTERS			
TO TOP PLATE, TOE NAIL		3-8D (21/2" × 0.113")	—
CEILING JOISTS TO PLATE, TOE NAIL		3-8D (21/2" × 0.113")	—
CEILING JOISTS NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER PARTITIONS, FACE NAIL		3-10D	—
COLLAR TIE RAFTER, FACE NAIL OR 11/4" × 20 GAGE RIDGE STRAP		3-10D (3" × 0.128")	—
RAFTER TO PLATE, TOE NAIL		2-16D (31/2" × 0.135")	—
ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS:			
	TOE NAIL	4-16D (31/2" × 0.135")	—
	FACE NAIL	3-16D (31/2" × 0.135")	—
ROOF	BUILT-UP CORNER STUDS		10D (3" × 0.128")
	BUILT-UP HEADER, TWO PIECES WITH 1/2" SPACER		16D (31/2" × 0.135")
	CONTINUOUS HEADER, TWO PIECES		16D (31/2" × 0.135")
	CONTINUOUS HEADER TO STUD, TOE NAIL		8D (21/2" × 0.113")
	DOUBLE STUDS, FACE NAIL		10D (3" × 0.128")
	DOUBLE TOP PLATES, FACE NAIL		10D (3" × 0.128")
	DOUBLE TOP PLATES, MINIMUM 24-INCH OFFSET OF END JOINTS (FACE NAIL IN LAPPED AREA)		8-16D (31/2" × 0.135")
	SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL		16D (31/2" × 0.135")
	SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANELS		3-16D (31/2" × 0.135")
WALL	STUD TO SOLE PLATE, TOE NAIL		8D (21/2" × 0.113") OR 2-16D 31/2" × 0.135")
	TOP OR SOLE PLATE TO STUD, END NAIL		2-16D (31/2" × 0.135")
	TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS, FACE NAIL		2-10D (3" × 0.128")
	1" BRACE TO EACH STUD AND PLATE, FACE NAIL		2-8D (21/2" × 0.113") OR 2 STAPLES (1 3/4")
	1" × 6" SHEATHING TO EACH BEARING, FACE NAIL		2-8D (21/2" × 0.113") OR 2 STAPLES (1 3/4")
	1" × 6" SHEATHING TO EACH BEARING, FACE NAIL		2-8D (21/2" × 0.113") OR 3 STAPLES (1 3/4")
	WIDER THAN 1" × 6" SHEATHING TO EACH BEARING, FACE NAIL		3-8D (21/2" × 0.113") OR 4 STAPLES (1 3/4")
	JOIST TO SILL OR GIRDER, TOE NAIL		3-8D (21/2" × 0.113")
	1" × 6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL		8D (21/2" × 0.113") OR 2 STAPLES (1 3/4")
	2" SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL		2-16D (31/2" × 0.135")
	RIM JOIST TO TOP PLATE, TOE NAIL (ROOF APPLICATIONS ALSO)		8D (21/2" × 0.113")
	2" PLANKS (PLANK & BEAM - FLOOR & ROOF)		2-16D (31/2" × 0.135")
FLOOR	BUILT-UP GIRDERS AND BEAMS, 2-INCH LUMBER LAYERS		10D (3" × 0.128")
			NAIL EACH LAYER AS FOLLOWS: 32" O.C. AT TOP AND BOTTOM AND STAGGERED. TWO NAILS AT ENDS AND AT EACH SPLICE.
	LEDGER STRIP SUPPORTING JOISTS OR RAFTERS		3-16D (31/2" × 0.135")

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REVISION
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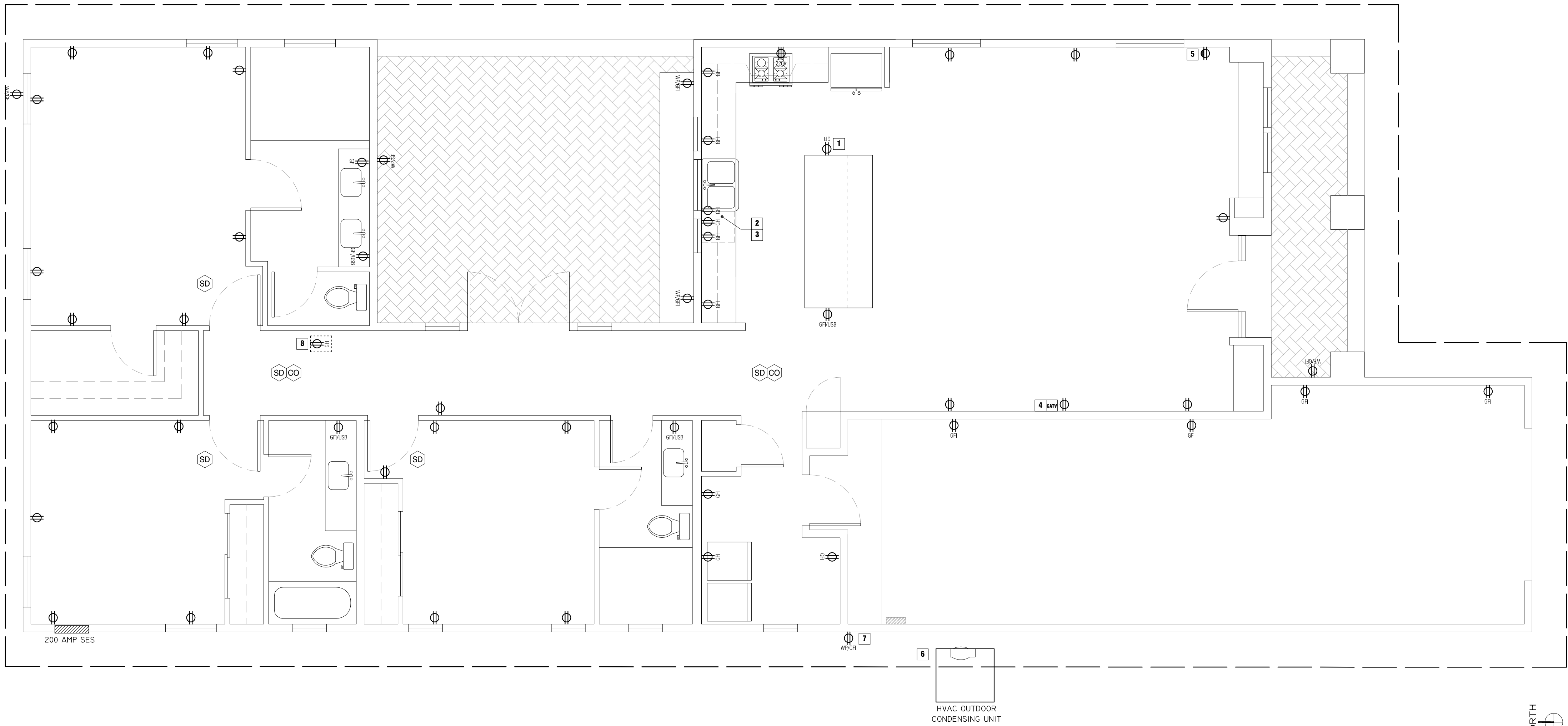
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NAILING SCHEDULE

S5.0



1 BRACED WALL PLAN

SCALE: 1/4" = 1'-0"

ELECTRICAL SYMBOL KEY

- SWITCH

DIMMER SWITCH

SWITCH CONTROLLED FROM 2 LOCATIONS

TIMER SWITCH, LUTRON MAESTRO

TAMPER RESISTANT RECEPTACLE

"HALF HOT" SWITCHED TAMPER RESISTANT RECEPTACLE

TAMPER RESISTANT RECEPTACLE WITH INTEGRATED USB CHARGING PORT

TAMPER RESISTANT GFI PROTECTED RECEPTACLE

TAMPER RESISTANT WEATHERPROOF GFI RECEPTACLE UL-LISTED FOR USE IN WET LOCATIONS

220V APPLIANCE RECEPTACLE
- 4" LED RECESSED CAN, IC-RATED IF IN INSULATION

4" LED RECESSED DIRECTIONAL CAN

LARGE PENDANT

SMALL PENDANT

WALL MOUNTED LIGHT FIXTURE

WALL MOUNTED LIGHT FIXTURE LISTED FOR EXTERIOR USE

HARDWIRED, INTERCONNECTED SMOKE DETECTOR

CARBON MONOXIDE DETECTOR

VENTILATION FAN, REFER TO MECHANICAL SHEETS

COAXIAL CABLE (INTERNET / CABLE TV)

ELECTRICAL KEYNOTES

- 1 LOCATE WITHIN 12" OF TOP OF COUNTERTOP
- 2 UNDERCABINET FOR DISPOSAL, PROVIDE ON DEDICATED 20-AMP CIRCUIT
- 3 UNDERCABINET FOR DISHWASHER
- 4 RECEPTACLE/CATV AT 54" AFF FOR WALL MOUNTED FLAT SCREEN TV
- 5 SWITCHED "HALF HOT" RECEPTACLE. SEE ALSO LIGHTING PLAN FOR SWITCH LOCATIONS
- 6 PROVIDE 208/230V SERVICE DISCONNECT AT OUTDOOR CONDENSING UNIT. VERIFY POWER REQUIREMENTS WITH MECHANICAL SYSTEM SPECIFICATIONS. REFER TO MECHANICAL PLANS (MANUAL S EQUIPMENT SPECIFICATION)
- 7 PROVIDE WEATHERPROOF GFI RECEPTACLE WITHIN 20' AND LINE OF SIGHT OF HVAC CONDENSING UNIT FOR MAINTENANCE (NOT ON LOAD SIDE OF DISCONNECT)
- 8 IN ATTIC, PROVIDE GFI RECEPTACLE AND A SWITCHED SURFACE MOUNTED UTILITY LIGHT WITHIN EASY REACH OF THE ATTIC ACCESS PANEL FOR MAINTENANCE
- 9 PROVIDE MOTION DETECTOR FOR LIGHTING CIRCUIT

ELECTRICAL NOTES

ELECTRICIAN TO PROVIDE OVERHEAD POWER SUPPLY MAST BRACING PER UTILITY COMPANY REQUIREMENTS; PROVIDE FLASHING AND SEALANT AT ROOF PENETRATIONS AFTER UTILITY COMPANY HAS COMPLETED CONNECTIONS

ELECTRICIAN TO VERIFY POWER REQUIREMENT WITH MANUFACTURER'S SPECIFICATION FOR A HVAC EQUIPMENT TO ENSURE PROPER BREAKER/WIRE SIZE, POWER REQUIREMENTS TO CONDENSER AND AIR HANDLER (VERIFY AGAINST ACTUAL EQUIPMENT DELIVERED TO SITE TO AVOID CONFLICTS IF SUBSTITUTIONS ARE MADE) ; WHERE MANUFACTURER'S RECOMMENDATION CONFLICTS WITH PANEL SCHEDULE, MANUFACTURER'S SPECIFICATION SHALL PREVAIL

PROVIDE GFI RECEPTACLE UL-LISTED FOR EXTERIOR USE WITHIN 20' AND LINE OF SIGHT OF HVAC OUTDOOR CONDENSING UNIT. THIS RECEPTACLE SHALL BE ON A 15- OR 20-AMP CIRCUIT AND SHALL NOT BE CONNECTED TO THE LOAD SIDE OF HVAC DISCONNECT.

PROVIDE SERVICE DISCONNECT AT NEW HVAC OUTDOOR CONDENSING UNIT. VERIFY POWER REQUIREMENTS WITH MECHANICAL SYSTEM SPECIFICATIONS

MOUNT ALL SWITCH BOXES AND RECEPTACLE BOXES AT CONSISTANT HEIGHTS THROUGHOUT HOUSE, PLUMB AND LEVEL

TYPICAL SWITCH BOXES TO BE MOUNTED 50" AFF

MOUNT COUNTERTOP RECEPTACLES 24" ABOVE COUNTER (60" AFF TYP)

DISHWASHER RECEPTACLE MOUNTED 6" AFF

TYPICAL RECEPTACLE BOXES 18" AFF UNLESS OTHERWISE NOTED ON PLAN

PROVIDE STAPLES FROM WIRE TO CENTER OF STUD WITHIN 6" OF J-BOXES

PROVIDE STAPLES FROM WIRE TO CENTER OF STUD @ 36" OC IN WALLS

PROVIDE 16GA METAL PLATES WHERE WIRES PASS THROUGH STUDS (SIMPSON NS1 OR EQUIVALENT)

PROVIDE ONE RECEPTACLE AND ONE UTILITY LIGHT IN ATTIC FOR MAINTENANCE OF ATTIC MOUNTED HVAC EQUIPMENT

PROVIDE MAXIMUM (12) RECEPTACLES ON A 20-AMP CIRCUIT

PROVIDE HARDWIRED AND INTERCONNECTED SMOKE & CARBON MONOXIDE DETECTORS ON A 15-AMP CIRCUIT.

PROVIDE ARC FAULT PROTECTION ("AFCI") TO ALL CIRCUITS WITH 15- OR 20-AMP RECEPTACLES SERVING LIVING ROOM, BEDROOMS, HOME OFFICE, CLOSETS, HALLWAYS, DINING SPACES OR OTHER LIVING SPACES

LIGHT FIXTURES IN BATHROOM WITHIN 48" OF SHOWER SHALL BE UL-LISTED FOR USE IN DAMP OR WET LOCATIONS

75% OF ALL LIGHTING TO HAVE HIGH-EFFICACY LAMPS TO MEET THE 2012 IECC

DESIGN & DOCUMENTATION:
TRUESPACE
ATTENTION: JASON COMER
602-373-7934
JASONCOMER@GMAIL.COM
3104 EAST CAMELBACK ROAD #126
PHOENIX, ARIZONA 85016

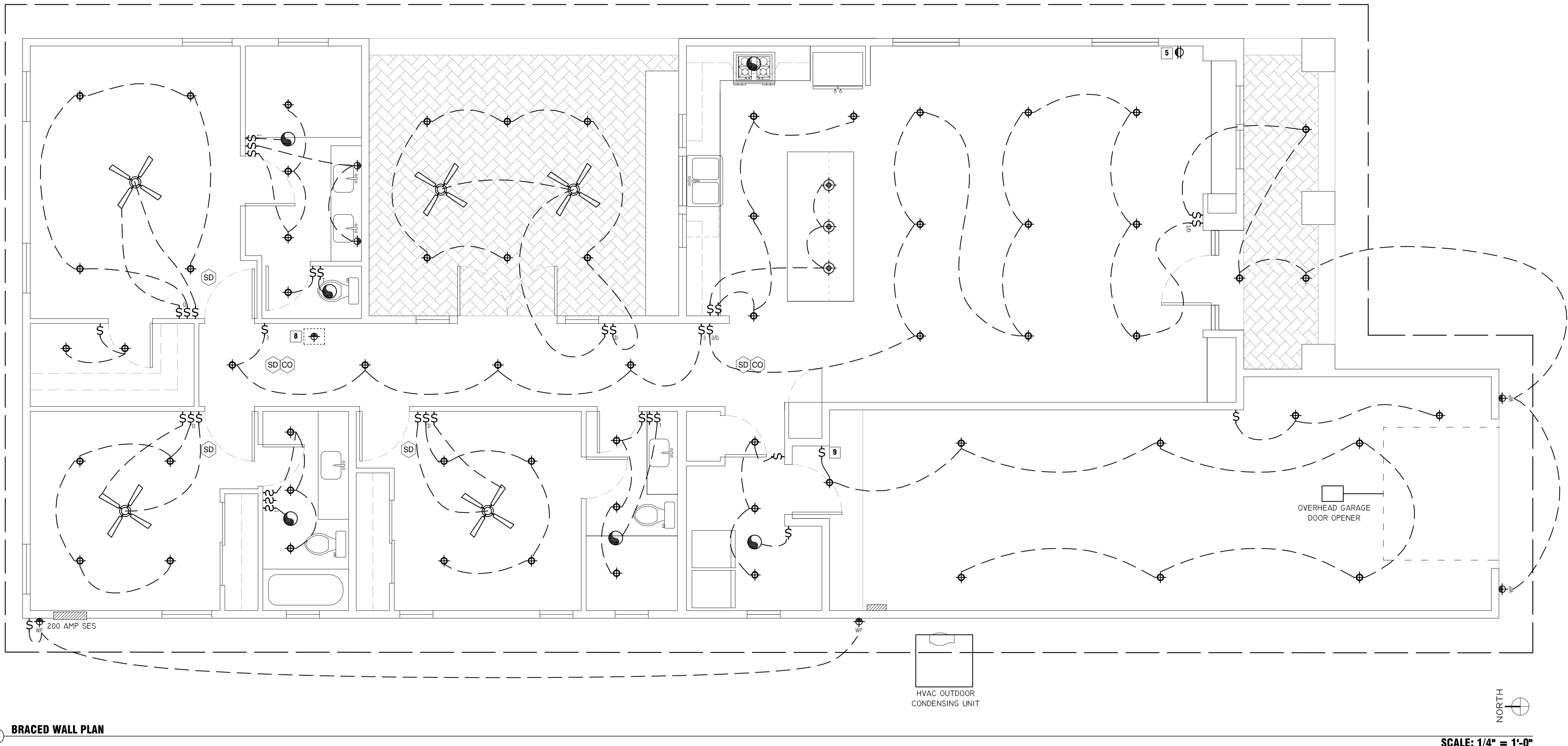
OWNERS:
SARAH & ERROL BERRY
4208 EAST SAN MIGUEL AVENUE
GILBERT, ARIZONA 85016

REVISION	DATE
1. PLAN REVIEW COMMENTS	10/16/17
BUILDING PERMIT SET	
ISSUED: OCTOBER 16, 2017	
ELECTRICAL POWER PLAN	
E1.0	

CONSTRUCTION SET

BERRY RESIDENCE

130 WEST WASHINGTON AVENUE
GILBERT, ARIZONA 85234



1 BRACED WALL PLAN

SCALE: 1/4" = 1'-0"

ELECTRICAL SYMBOL KEY

⌚	SWITCH	⬤	4" LED RECESSED CAN, IC-RATED IF IN INSULATION
⌚	DIMMER SWITCH	⬤	4" LED RECESSED DIRECTIONAL CAN
⌚	SWITCH CONTROLLED FROM 2 LOCATIONS	⬤	LARGE PENDANT
⌚	TIMER SWITCH, LUTRON MAESTRO	⬤	SMALL PENDANT
⌚	TAMPER RESISTANT RECEPTACLE	⬤	WALL MOUNTED LIGHT FIXTURE
⌚	"HALF HOT" SWITCHED TAMPER RESISTANT RECEPTACLE	⬤	WALL MOUNTED LIGHT FIXTURE LISTED FOR EXTERIOR USE
⌚	TAMPER RESISTANT RECEPTACLE WITH INTEGRATED USB CHARGING PORT	⬤	HARDWIRED, INTERCONNECTED SMOKE DETECTOR
⌚	TAMPER RESISTANT GFI PROTECTED RECEPTACLE	⬤	CARBON MONOXIDE DETECTOR
⌚	TAMPER RESISTANT WEATHERPROOF GFI RECEPTACLE UL-LISTED FOR USE IN WET LOCATIONS	⬤	VENTILATION FAN, REFER TO MECHANICAL SHEETS
⌚	220V APPLIANCE RECEPTACLE	⬤	COAXIAL CABLE (INTERNET / CABLE TV)

ELECTRICAL KEYNOTES

- LOCATE WITHIN 12" OF TOP OF COUNTERTOP
- UNDERCABINET FOR DISPOSAL, PROVIDE ON DEDICATED 20-AMP CIRCUIT
- UNDERCABINET FOR DISHWASHER
- RECEPTACLE/CATV AT 54" AFF FOR WALL MOUNTED FLAT SCREEN TV
- SWITCHED "HALF HOT" RECEPTACLE, SEE ALSO LIGHTING PLAN FOR SWITCH LOCATIONS
- PROVIDE 208/230V SERVICE DISCONNECT AT OUTDOOR CONDENSING UNIT, VERIFY POWER REQUIREMENTS WITH MECHANICAL SYSTEM SPECIFICATIONS, REFER TO MECHANICAL PLANS (MANUAL S EQUIPMENT SPECIFICATION)
- IN ATTIC, PROVIDE GFI RECEPTACLE WITHIN 20' AND LINE OF SIGHT OF HVAC CONDENSING UNIT FOR MAINTENANCE (NOT ON LOAD SIDE OF DISCONNECT)
- IN ATTIC, PROVIDE GFI RECEPTACLE AND A SWITCHED SURFACE MOUNTED UTILITY LIGHT WITHIN EASY REACH OF THE ATTIC ACCESS PANEL FOR MAINTENANCE
- PROVIDE MOTION DETECTOR FOR LIGHTING CIRCUIT

ELECTRICAL NOTES

ELECTRICIAN TO PROVIDE OVERHEAD POWER SUPPLY MOST BRACING PER UTILITY COMPANY REQUIREMENTS; PROVIDE FLASHING AND SEALANT AT ROOF PENETRATIONS AFTER UTILITY COMPANY HAS COMPLETED CONNECTIONS

ELECTRICIAN TO VERIFY POWER REQUIREMENT WITH MANUFACTURER'S SPECIFICATION FOR A HVAC EQUIPMENT TO ENSURE PROPER BREAKER/WIRE SIZE, POWER REQUIREMENTS TO CONDENSER AND AIR HANDLER (VERIFY AGAINST ACTUAL EQUIPMENT DELIVERED TO SITE TO AVOID CONFLICTS IF SUBSTITUTIONS ARE MADE); WHERE MANUFACTURER'S RECOMMENDATION CONFLICTS WITH PANEL SCHEDULE, MANUFACTURER'S SPECIFICATION SHALL PREVAIL

PROVIDE GFI RECEPTACLE UL-LISTED FOR EXTERIOR USE WITHIN 20' AND LINE OF SIGHT OF HVAC OUTDOOR CONDENSING UNIT. THIS RECEPTACLE SHALL BE ON A 15- OR 20-AMP CIRCUIT AND SHALL NOT BE CONNECTED TO THE LOAD SIDE OF HVAC DISCONNECT.

PROVIDE SERVICE DISCONNECT AT NEW HVAC OUTDOOR CONDENSING UNIT, VERIFY POWER REQUIREMENTS WITH MECHANICAL SYSTEM SPECIFICATIONS

MOUNT ALL SWITCH BOXES AND RECEPTACLE BOXES AT CONSISTANT HEIGHTS THROUGHOUT HOUSE, PLUMB AND LEVEL

TYPICAL SWITCH BOXES TO BE MOUNTED 50" AFF

MOUNT COUNTERTOP RECEPTACLES 24" ABOVE COUNTER (60" AFF TYP)

DISHWASHER RECEPTACLE MOUNTED 6" AFF

TYPICAL RECEPTACLE BOXES 18" AFF UNLESS OTHERWISE NOTED ON PLAN

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ELECTRICAL LIGHTING PLAN	
E1.1	

CONSTRUCTION SET

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OWNERS:
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1 LOAD CALCULATIONS

2 PANEL SCHEDULE

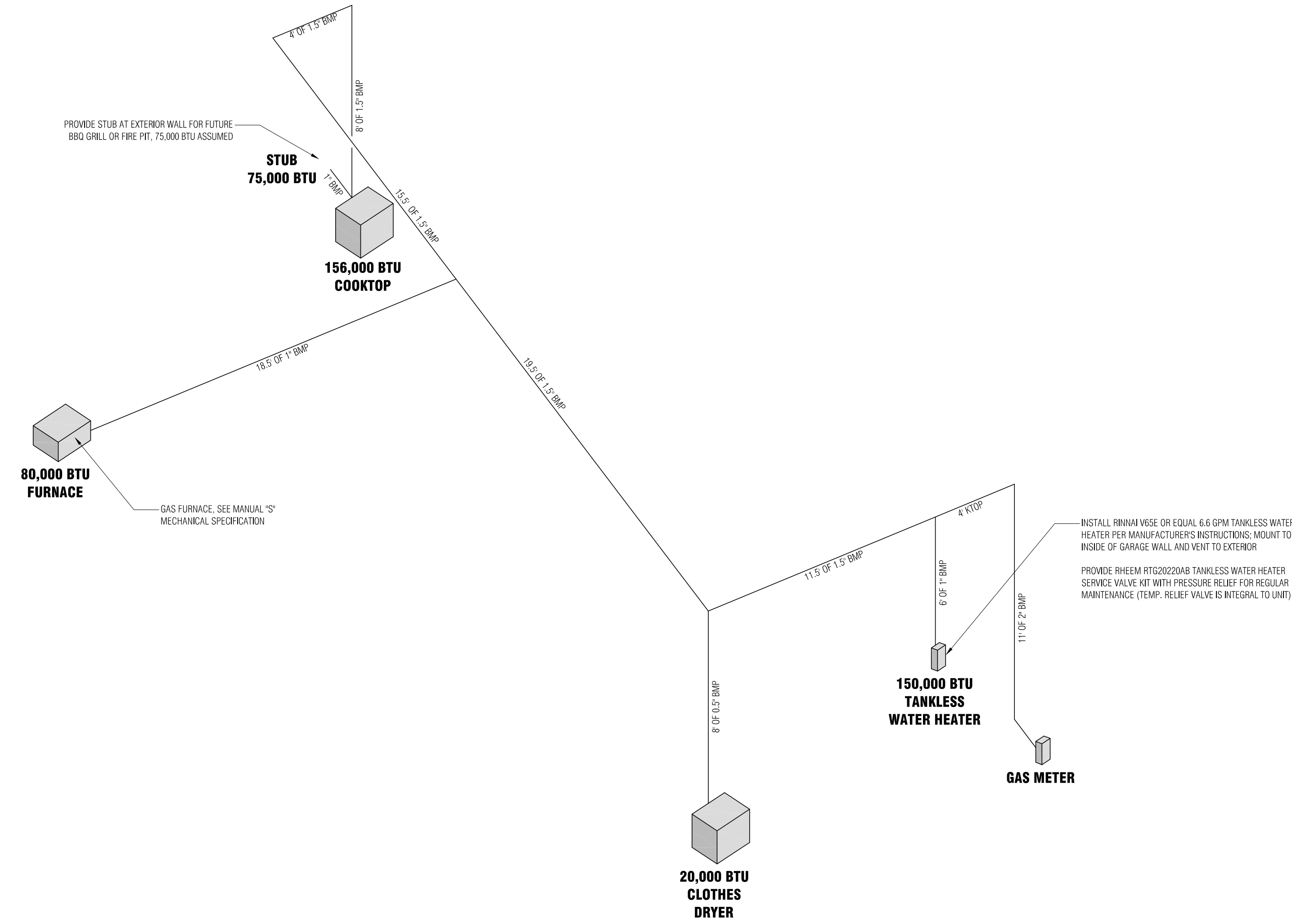
③ ONE LINE DIAGRAM

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ISSUED: **OCTOBER 16, 2017**

**ELECTRICAL
SCHEDULES**
E5.0



2 GAS PIPING ISOMETRIC

BMP = BLACK MALLEABLE PIPE
CFH = CUBIC FEET PER HOUR

DO NOT SCALE

PLUMBING FIXTURE COUNTS

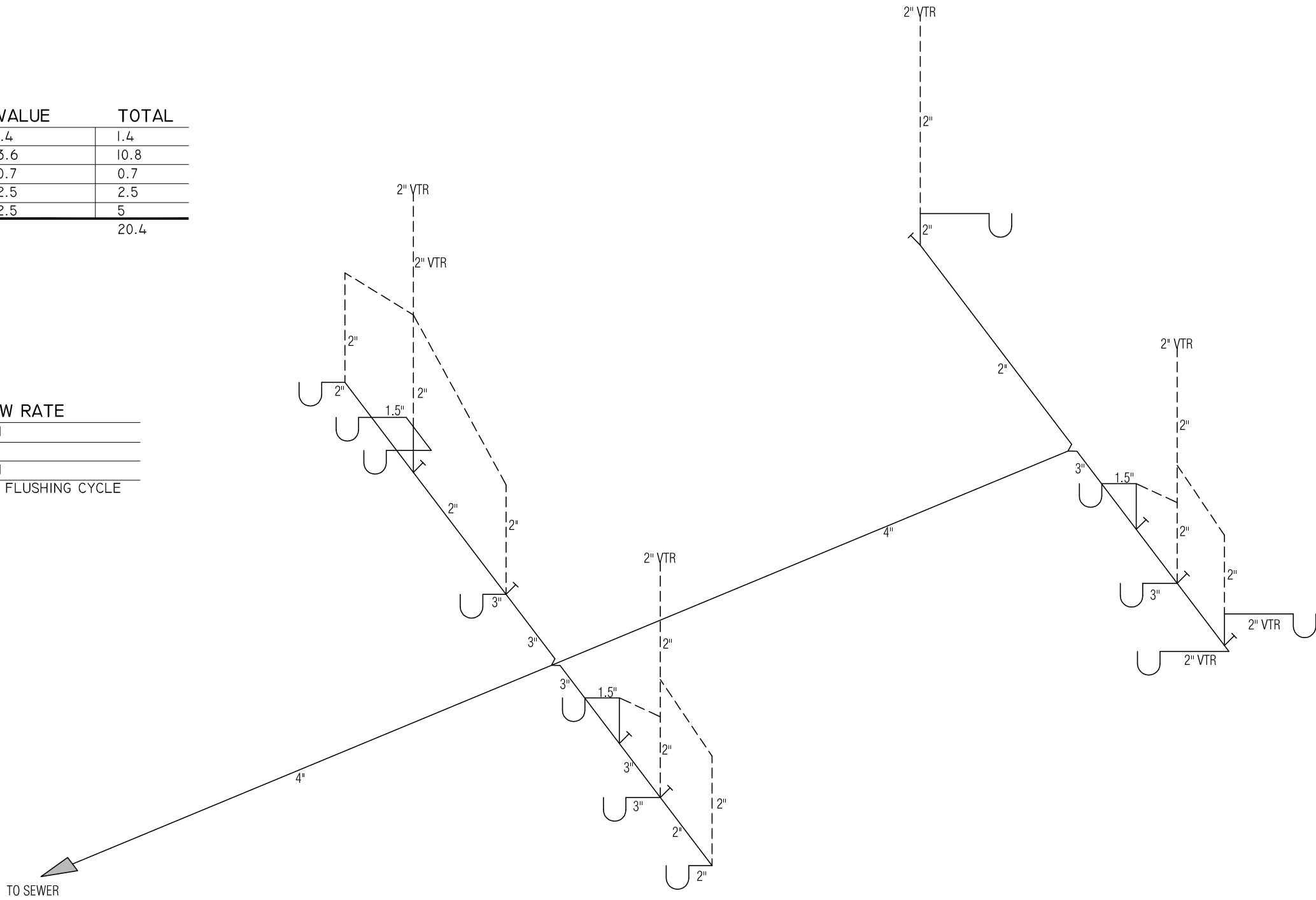
PLUMBING FIXTURE	COUNT	VALUE	TOTAL
CLOTHES WASHER	1	1.4	1.4
FULL BATH GROUP	3	3.6	10.8
BATHROOM SINK	1	0.7	0.7
KITCHEN GROUP	1	2.5	2.5
HOSE BIBB	2	2.5	5
			20.4

P2903.2 COMPLIANCE

PLUMBING FIXTURE	MAXIMUM FLOW RATE
LAVATORY FAUCET	2.2 GPM @ 60 PSI
SHOWER HEAD (FIXED OR HANDHELD)	2.5 GPM @ 80 PSI
SINK FAUCET	2.2 GPM @ 60 PSI
WATER CLOSET	1.6 GALLONS PER FLUSHING CYCLE

WATER SUPPLY LINE SIZE 1" 100 FT
DISTANCE TO FURTHEST FIXTURE FROM METER

1 DWV ISOMETRIC



NOT TO SCALE

CONSTRUCTION SET

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PLUMBING PLAN

P1.0